



Public Meetings Revised Agenda

Monday, February 10, 2025, 7:00 p.m.

Council Chambers

Whitby Town Hall

Statutory Public Meetings under the Planning Act, R.S.O. 1990, c. P.13

This meeting will be held in a hybrid in-person and virtual format, and will be available for viewing through the Town's **live stream feed** while the meeting is in progress. Please visit whitby.ca/CouncilCalendar for more information about the live stream and archived videos.

Should you wish to provide comments regarding a matter being considered below, please submit written correspondence and/or a Delegation Request Form.

- **To submit written correspondence**, please email your correspondence to the Office of the Town Clerk at clerk@whitby.ca by noon on the day of the meeting. Correspondence must include your full name, address, and the item on the agenda that your correspondence is related to.
- **To speak virtually during the Public Meetings**, please submit a [Delegation Request Form](#) online to the Office of the Town Clerk by 8 a.m. on the day of the meeting. **Those wishing to speak in-person** are encouraged to submit a [Delegation Request Form](#), but are not required to pre-register in order to speak at the Public Meetings. Should you be unable to access a computer, please call 905.430.4315 to speak with a Staff Member in the Office of the Town Clerk.

Interested parties who wish to be notified of updates pertaining to a matter considered at a Public Meeting may submit an [Interested Party List Registration Form](#). Requests may also be submitted in-person during the meeting at a registration kiosk located in Council Chambers, Whitby Town Hall (575 Rossland Rd E).

A Revised Agenda may be published on a later date. Late items added or a change to an item will appear with an asterisk beside them.

Format of Public Meetings

Public meetings are chaired by a Member of Council appointed as the Planning Chair by the Mayor and will proceed as follows:

1. Town Staff will provide a brief overview of the application;
2. The applicant or their representative may provide information regarding the application;

3. Members of the public wishing to provide input may do so via written submission sent to clerk@whitby.ca or by oral submission; and,
4. The Chair may call on the applicant and/or staff to provide clarification on matters raised by members of the public.

The Office of the Town Clerk captures all feedback received during a public meeting in minutes to provide a written record for Staff and Council of the public meeting.

Public Meetings - 7:00 p.m.

1. PDP 04-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, Whitby Curling Club, 815 Brock Street North, File Number: DEV-35-24 (Z-17-24)
- *2. PDP 05-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, Bousfields Inc., on behalf of Yeda Whitby Limited Partnership, 307 Brock Street South, File Number: DEV-27-24 (Z-12-24)

Delegations:

1. Mona Al-Sharari, representing Yeda Whitby Limited Partnership (In Person Attendance) *
- *3. PDP 06-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, Madison Winchester Limited, Winchester Road East and Cachet Boulevard, File Number: DEV-39-24 (Z-20-24)

Delegations:

1. Courtney Fish, representing Madison Winchester Limited (In Person Attendance) *
4. PDP 07-25, Planning and Development (Planning Services) Department Report
Re: Temporary Use Zoning By-law Amendment Application, RAI Architect Inc. c/o Charles McVety, 300 Water Street, File Number: DEV-01-25 (Z-01-25)
- *5. PDP 08-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, Whitby Brock Estates Ltd., 423, 425, 427, and 435 Brock Street North, File Number: DEV-40-24 (Z-21-24)

Delegations:

1. Arthur Grabowski, representing Whitby Brock Estates Ltd. (In Person Attendance) *

6. PDP 09-25, Planning and Development (Planning Services) Department Report
Re: Official Plan Amendment and Zoning By-law Amendment Applications,
Coronation Properties Inc., 5900 Coronation Road, File Number: DEV-42-24 (OPA-
2024-W/11, Z-22-24)
- *7. PDP 10-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, Paul Demczak c/o 2490987 Ontario Inc.,
1399 Dundas Street East, File Number: DEV-03-25 (Z-02-25)

Delegations:

1. Paul Demczak, representing 2490987 Ontario Inc. (Virtual Attendance) *
- *8. PDP 11-25, Planning and Development (Planning Services) Department Report
Re: Zoning By-law Amendment Application, MHBC Planning Limited on behalf of
5515 Garrard Real Estate Inc., 5515 Garrard Road, File Number: DEV-34-24 (Z-16-
24)

Delegations:

1. David McKay, representing 5515 Garrard Real Estate Inc. (Virtual
Attendance) *
- *9. PDP 12-25, Planning and Development (Planning Services) Department Report
Re: Official Plan Amendment and Zoning By-law Amendment Applications, GHD on
behalf of 1151 Whitby GP Inc., 1151 Dundas Street West, File Number: DEV-46-24
(OPA-2024-W/12, Z-23-24)

Delegations:

1. Steven Edwards, representing 1151 Whitby GP Inc. (In Person Attendance) *

Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-35-24: Zoning By-law Amendment Application, Whitby Curling Club, 815 Brock Street North, File No. Z-17-24

Date of meeting: February 10, 2025

Report Number: PDP 04-25

Department(s) Responsible:
Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning and Development

Acknowledged by M. Gaskell, Chief Administrative Officer

For additional information, contact:

J. Taylor, Director of Planning Services,
905-444-2908

N. Kohek, Planner II, 905-444-2902

Planning Report **PDP 04-25** is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13

Anyone who attends the public meeting may present an oral submission, and/or provide a written submission to the Planning and Development Department on the proposed application. Also, any person may make written submissions at any time before Council makes a decision.

Additional information regarding statutory public meetings under the Planning Act can be found on the [Town's website](#).

If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

- An application for a Zoning By-law Amendment has been submitted by the Whitby Curling Club for land municipally known as 815 Brock Street North.
- The proposal is to rezone a portion of the existing property from Open Space (OS) to a residential zone to permit five (5) single detached dwellings, three (3) storeys in height, fronting onto Bradley Drive.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information and materials submitted in support of the development application and to provide the opportunity for public input at the statutory public meeting, as required by the Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the eastern portion of 815 Brock Street North. The existing parcel is on the east side of Brock Street North, approximately 200 m south of Manning Road and Starr Avenue, with road frontage on Bradley Drive (refer to attachment #1). The subject property is 0.81 hectares (2 ac) in size and is used as a recreational centre (curling club). The area of the subject land proposed to be rezoned is currently used for overflow parking and storage for the curling club.

The surrounding land uses include:

- single detached dwellings to the north and east;
- open space (Bradley Park) to the south; and,
- commercial and residential uses to the west (refer to attachment #2).

3.2. Application and Proposed Development

A Zoning By-law Amendment Application has been submitted by the Whitby Curling Club, to change the Zoning on a portion of the subject land from Open Space (OS) to an appropriate residential zone to facilitate the development of five (5) single detached dwellings, three (3) storeys in height, fronting onto Bradley Drive (refer to attachments #3&4).

Future land division applications will be required to create the proposed lots.

3.3. Documents Submitted in Support

The following documents have been submitted in support of the application:

- A Site Plan, prepared by Cassidy & Co., dated June 2024.
- Preliminary Model Drawings, prepared by Cassidy & Co., dated October 2024.
- A Planning Justification Report, prepared by LANDx Developments Ltd., dated October 2024.
- A Topographic Survey, prepared by J.D. Barnes Ltd., dated June 24, 2024.
- A Stormwater Management and Functional Services Report, prepared by D.G. Biddle & Associates, dated September 2024.
- A Civil Engineering Drawing Package, prepared by D.G. Biddle & Associates, dated September 2024.
- An Environmental Noise Assessment, prepared by YCA Engineering Ltd., dated October 2024.
- A Phase 1 Environmental Site Assessment, prepared by Cambium Inc., dated June 2024.
- A Tree Preservation and Landscaping Plan Package, prepared by Henry Kortekaas and Associates Inc., dated July 2024.

4. Discussion:

4.1. Whitby Official Plan

The subject land is designated as a “Residential Area” in the Town of Whitby Official Plan (refer to attachment #5). Residential Areas are intended to be predominantly used for residential purposes, however recreational and other community uses are also permitted.

According to Section 4.4.3.2, proposals for new residential development or redevelopment shall consider the policies, including locational criteria, identified in Sections 4.4.3.4 to 4.4.3.6 of the Official Plan. Low Density Residential areas shall generally be located in the interior of residential neighbourhoods on local or collector roads (4.4.3.4.1.a.). Bradley Drive is designated as a collector road under Schedule ‘D’ Transportation of the Official Plan.

4.2. Zoning By-law

The subject land is Zoned OS – Open Space in Zoning By-law 2585 (refer to attachment #6). The OS Zone does not permit residential uses.

A Zoning By-law Amendment is required to rezone the subject land to a residential Zone category to implement the proposed single detached dwellings.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected on Bradley Drive of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the application and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development application. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the application will be considered.

8. Attachments:

Attachment #1 Location Sketch

Attachment #2 Aerial Context Map

Attachment #3 Proponent's Proposed Concept Plan

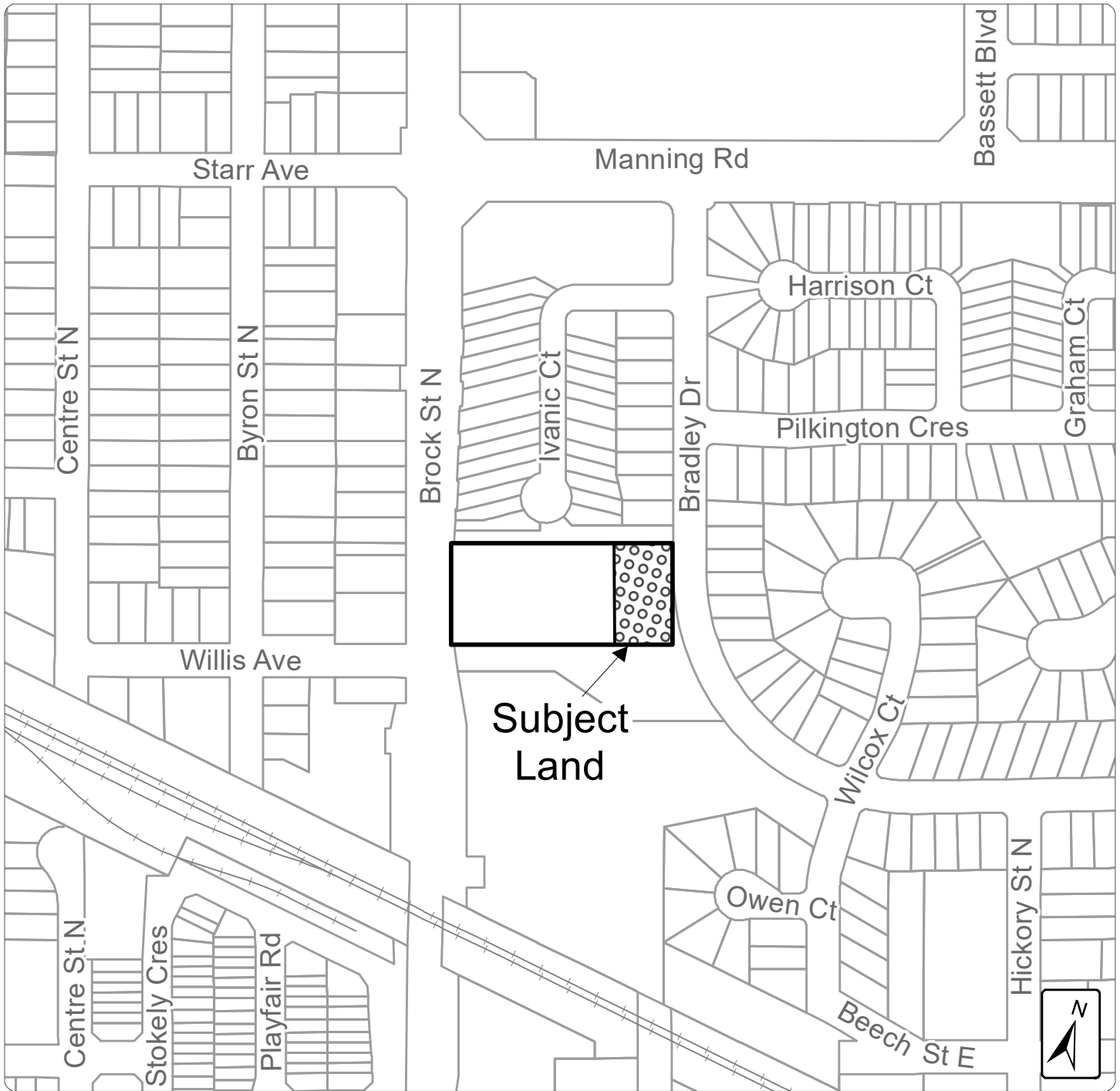
Attachment #4 Proponent's Proposed Elevations Plan

Attachment #5 Excerpt from Town of Whitby Official Plan Schedule 'A' – Land Use

Attachment #6 Excerpt from Zoning By-law 2585

Attachment #1 Location Sketch

PDP 04-25



 **Town of Whitby Planning and Development Department**

Proponent:
Whitby Curling Club

File Number:
DEV-35-24 (Z-17-24)

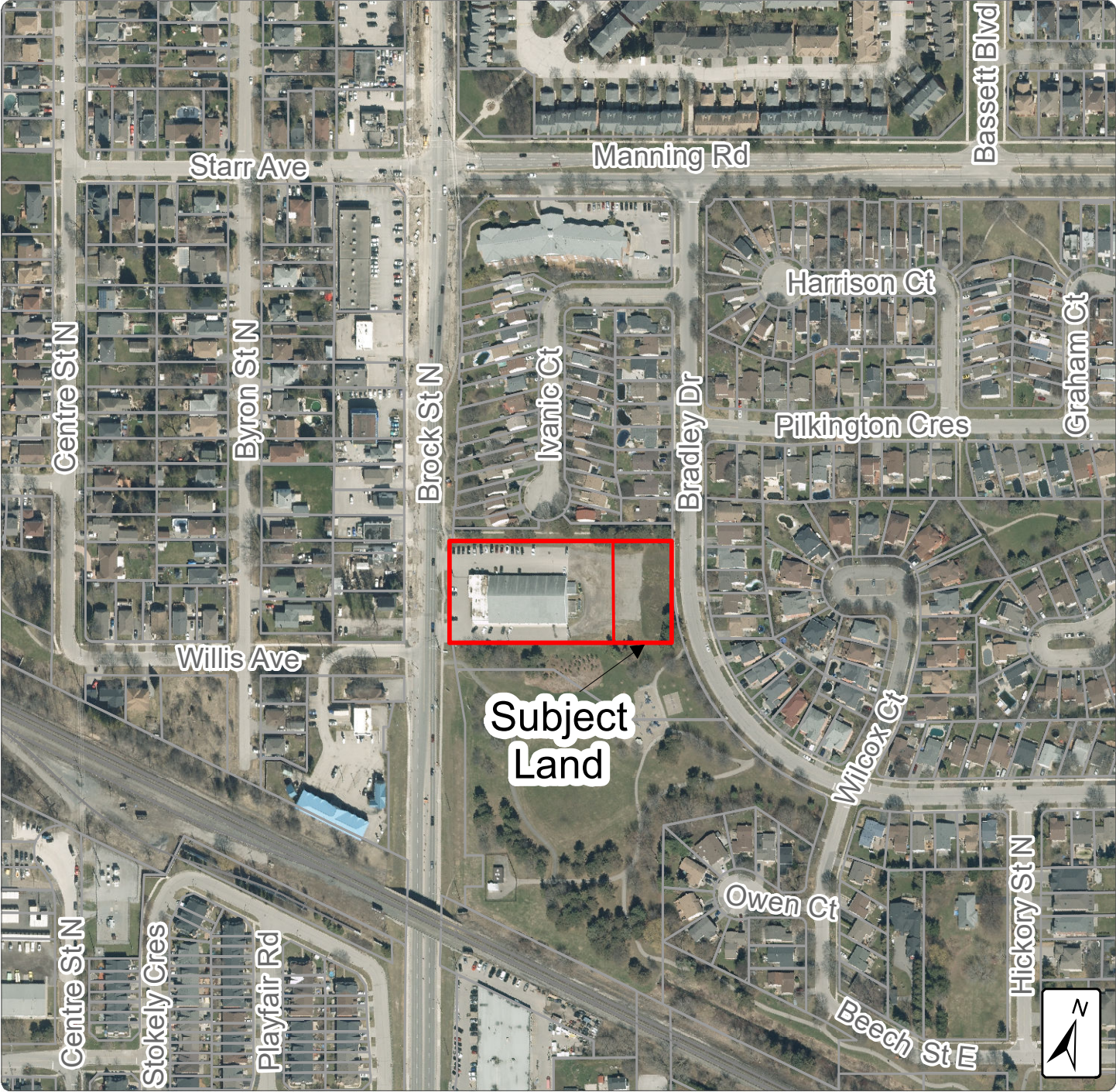
Date:
February 2025

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Attachment #2 Aerial Context Map



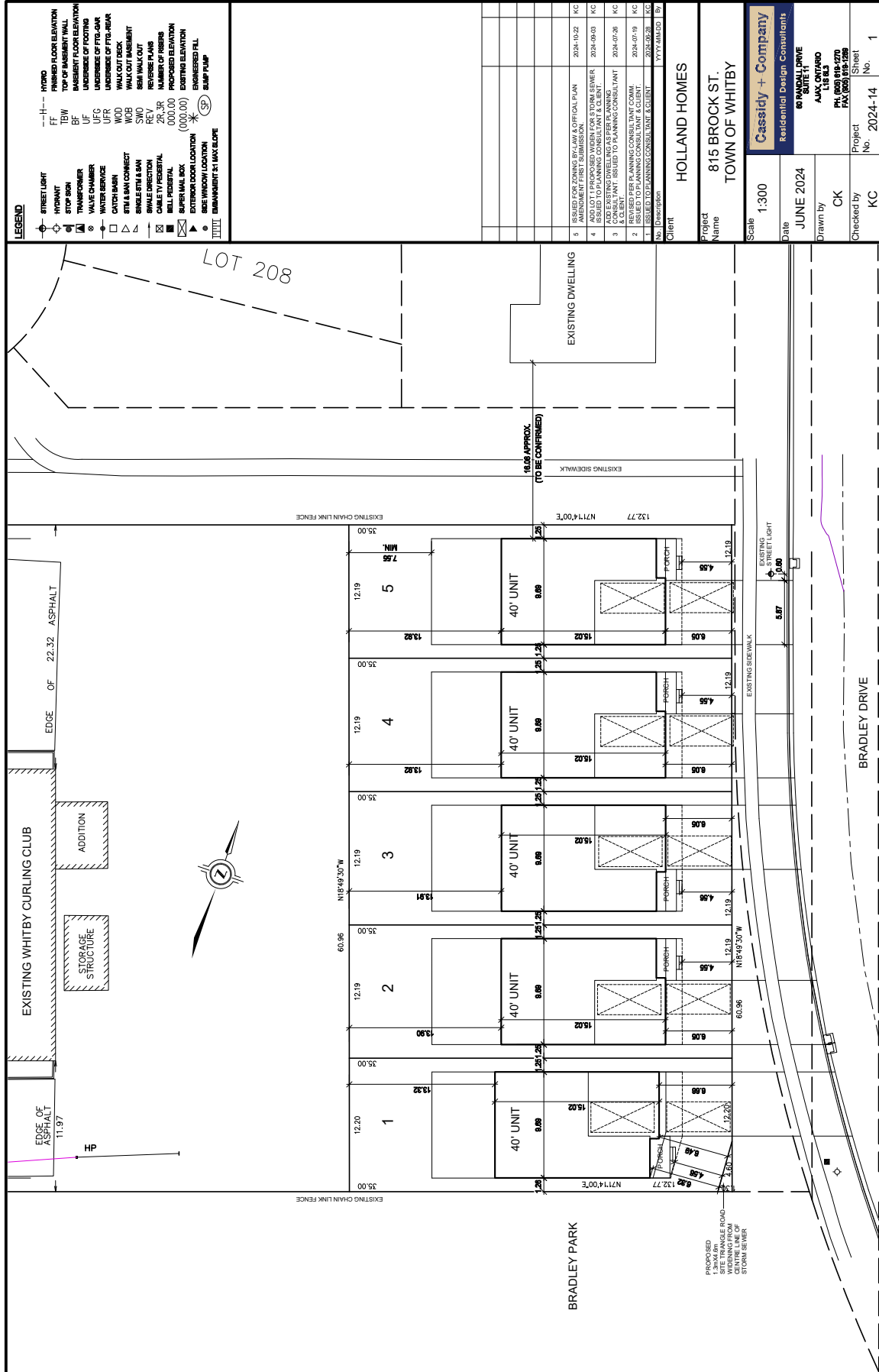
Town of Whitby Planning and Development Department

Proponent: Whitby Curling Club	File Number: DEV-35-24 (Z-17-24)	Date: February 2025
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Proponent's Proposed Concept Plan

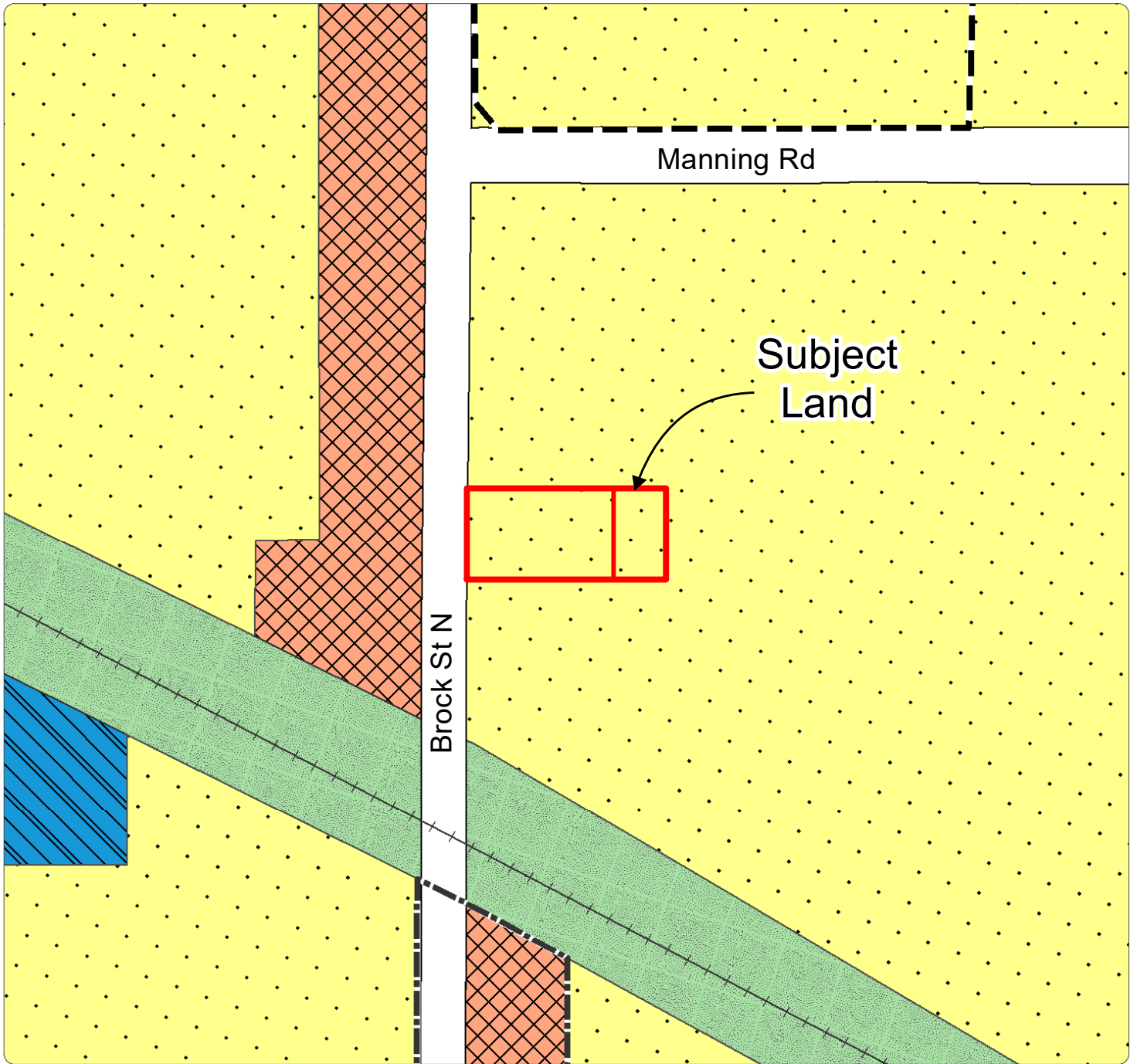


Attachment #4 Proponent's Proposed Elevations Plan

PDP 04-25



Excerpt from the Town of Whitby Official Plan Schedule 'A'



Legend

	Residential		Lands Subject to Durham Regional Official Plan Policy 14.13.7		D3 (Deferred by Region of Durham)
	Major Commercial		Deferred by the Region of Durham		Local Central Area
	Community Commercial		Resource Extraction Area (See Section 4.12)		Utility
	Special Purpose Commercial		2031 Urban Area Boundary		Community Central Area Boundary
	Mixed Use		Future Urban Development Area Boundary		Greenbelt Protected Countryside Boundary
	Prestige Industrial		Hamlet Boundary		Major Central Area Boundary
	General Industrial		Major Central Area Boundary		Municipal Boundary
	Special Activity Node		Southern Boundary of Oak Ridges Moraine		Urban Central Area Boundary
	Institutional				
	Major Open Space				
	Agricultural				
	Hamlet				
	Estate Residential				
	Special Policy Area				
	Refer to section 11.5.31.6				

Notes: Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

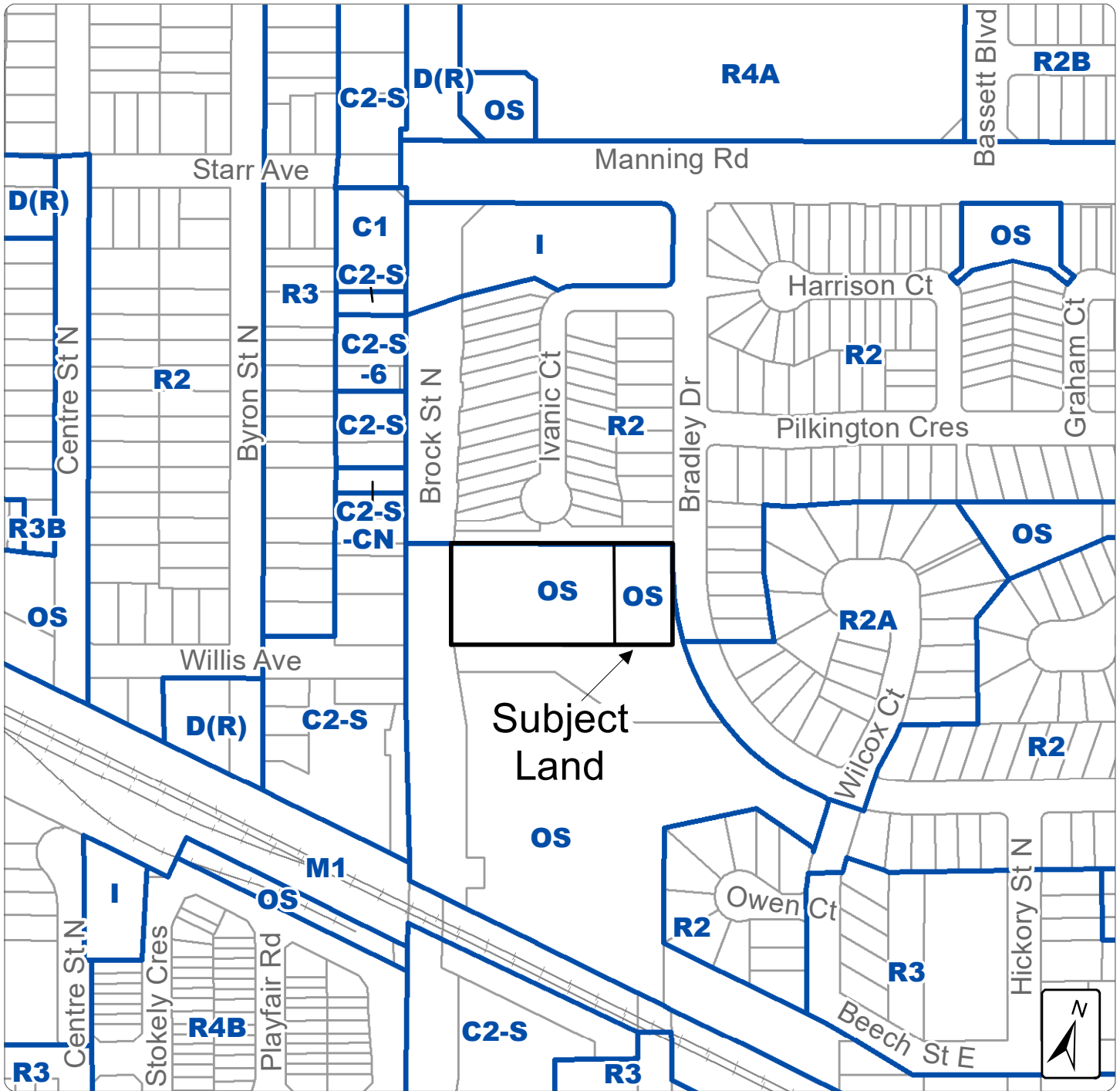
Official Plan - Town of Whitby Schedule **A**

Excerpt from Schedule 'A' Land Use

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Attachment #6
Excerpt from Zoning By-Law 2585

PDP 04-25



Whitby Town of Whitby Planning and Development Department

Proponent: Whitby Curling Club	File Number: DEV-35-24 (Z-17-24)	Date: February 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-27-24: Zoning By-law Amendment Application, Bousfield Inc., 307 Brock Street South, File No. Z-12-24

Date of meeting: February 10, 2025

Report Number: PDP 05-25

Department(s) Responsible:

Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning
and Development

**Acknowledged by M. Gaskell, Chief
Administrative Officer**

For additional information, contact:

J. Taylor, Director of Planning, 905-444-
2908

L. Riviere-Doersam, Project Manager,
905-444-2895

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1. Highlights:

A Zoning By-law Amendment Application has been submitted by Bousfields Inc. on behalf of Yeda Whitby Limited Partnership for land municipally known as 307 Brock Street South.

The Zoning By-law Amendment Application proposes to change the current zoning from Holding, Central Commercial – Downtown Zone (H-C3-DT) within Zoning By-law 2585 to an appropriate zone category to permit a proposed mixed-use development.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the east side of Brock Street South, north of Gilbert Street East, west of Green Street (refer to Attachment #1). The subject land is approximately 0.52 hectares (1.28 acres) in size.

The subject land currently contains a commercial plaza which is proposed to be removed. The surrounding land uses include:

- A single storey commercial building (Dollarama) immediately to the north with additional commercial and residential uses further north;
- Commercial uses to the west;
- Commercial and office uses to the south; and
- Residential dwellings to the east, including apartment buildings and single detached residential dwellings (refer to Attachment #2).

3.2. Application and Proposed Development

A Zoning By-law Amendment Application has been submitted by Bousfields Inc. on behalf of Yeda Whitby Limited Partnership to permit a mixed-use development consisting of a 6-storey building, with 303 residential units and 663 square metres of at-grade commercial, fronting Brock Street South (refer to Attachment #3).

The Zoning By-law Amendment Application proposes to change the current zoning from Holding, Central Commercial - Downtown Zone (H-C3-DT) within Zoning By-law No. 2585, to an appropriate zone category to accommodate the proposed development.

3.3. Documents Submitted in Support

The following documents were submitted in support of the application:

- Site Plan and Architectural Drawing List, prepared by RAW Design Inc., dated November 2024;
- Planning and Urban Design Rationale Report, prepared by Bousfields Inc., dated August 2024;
- Addendum to Planning and Urban Design Rationale Report, prepared by Bousfields Inc., dated November 2024;
- Functional Servicing & Stormwater Management Report, prepared by Aplin Martin Consultants Ltd., dated November 2024;
- Preliminary Geotechnical Investigation, prepared by GeoPro Consulting Limited, dated May 2023;
- Preliminary Hydrogeological Assessment, prepared by GeoPro Consulting Limited, dated October 2023;
- Landscape Plans, prepared by Janet Rosenberg & Studio, dated November 2023;
- Environmental Noise Feasibility Study, prepared by Valcoustics Canada Ltd., July 2024;
- Phase One Environmental Site Assessment, prepared by Premier Environmental Services Inc., dated January 2022;
- Phase Two Environmental Site Assessment, prepared by Premier Environmental Services Inc., dated January 2022;
- Shadow Study, prepared by RAW Design Inc., dated October 2024;
- Plan of Survey, prepared by J.D. Barnes Limited, dated February 2023;
- Sustainability Rationale Report, prepared by Polaris Energy Sustainability Sol., dated July 2024;
- Traffic Impact Study, prepared by GHD, dated December 2024;
- Tree Inventory and Preservation Plan, prepared by Kuntz Forestry Consulting Inc., dated December 2023;
- Demolition/Construction Vibration “Zone of Influence” Study & Vibration Monitoring Program, prepared by Valcoustics Canada Ltd., dated May 2024; and
- Civil Engineering Plans, prepared by Aplin Martin Consultants Ltd, dated November 2024.

The above documents have been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Whitby Official Plan

The subject land is located within the Downtown Whitby Community Secondary Plan area and is within the Major Central Area. The subject land is designated as “Downtown Mixed Use” per Schedule ‘H’, Downtown Whitby Community Secondary Plan Land Use, of the Town of Whitby Official Plan (refer to Attachment #4).

The intent of the Downtown Mixed-Use designation is to provide a mix of residential and commercial uses in a pedestrian-oriented manner at a density that supports frequent transit services, creating an expanded, vibrant pedestrian experience within Downtown Whitby (11.3.7.7.2). New buildings shall accommodate retail, office and/or service commercial uses at grade, with residential or additional non-residential uses directed to the floors above (11.3.7.7.3).

As per Schedule ‘I’, Downtown Whitby Community Secondary Plan Building Height, of the Official Plan, the maximum height of buildings on the subject land shall be 6-storeys (refer to Attachment #5).

4.2. Zoning By-law

The subject land is currently zoned Holding, Central Commercial – Downtown Zone (H-C3-DT) within Zoning By-law 2585 (refer to Attachment #6). While the H-C3-DT zone does permit apartment dwellings in conjunction with permitted non-residential uses, an exception will be required to revise the zone provisions to reflect the proposed development.

Further, as outlined in Section 26.2.2 of Zoning By-law 2585, where the Zone symbol is preceded by the letter “H”, the lands shall not be developed for the uses permitted in that Zone until a By-law has been adopted by Council to remove the “H”. In this case, a By-law shall not be enacted to remove the “H” until such time as it has been demonstrated, to the satisfaction of the Town of Whitby and the Regional Municipality of Durham, that sanitary sewer, municipal water and storm water servicing facilities and/or capacities are available to service the proposed development (26.2.2.3).

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected on the subject land in accordance with the Town’s notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the application and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the application will be considered.

8. Attachments:

Attachment #1: Location Sketch

Attachment #2: Aerial Context Map

Attachment #3: Proponent's Proposed Concept Plan

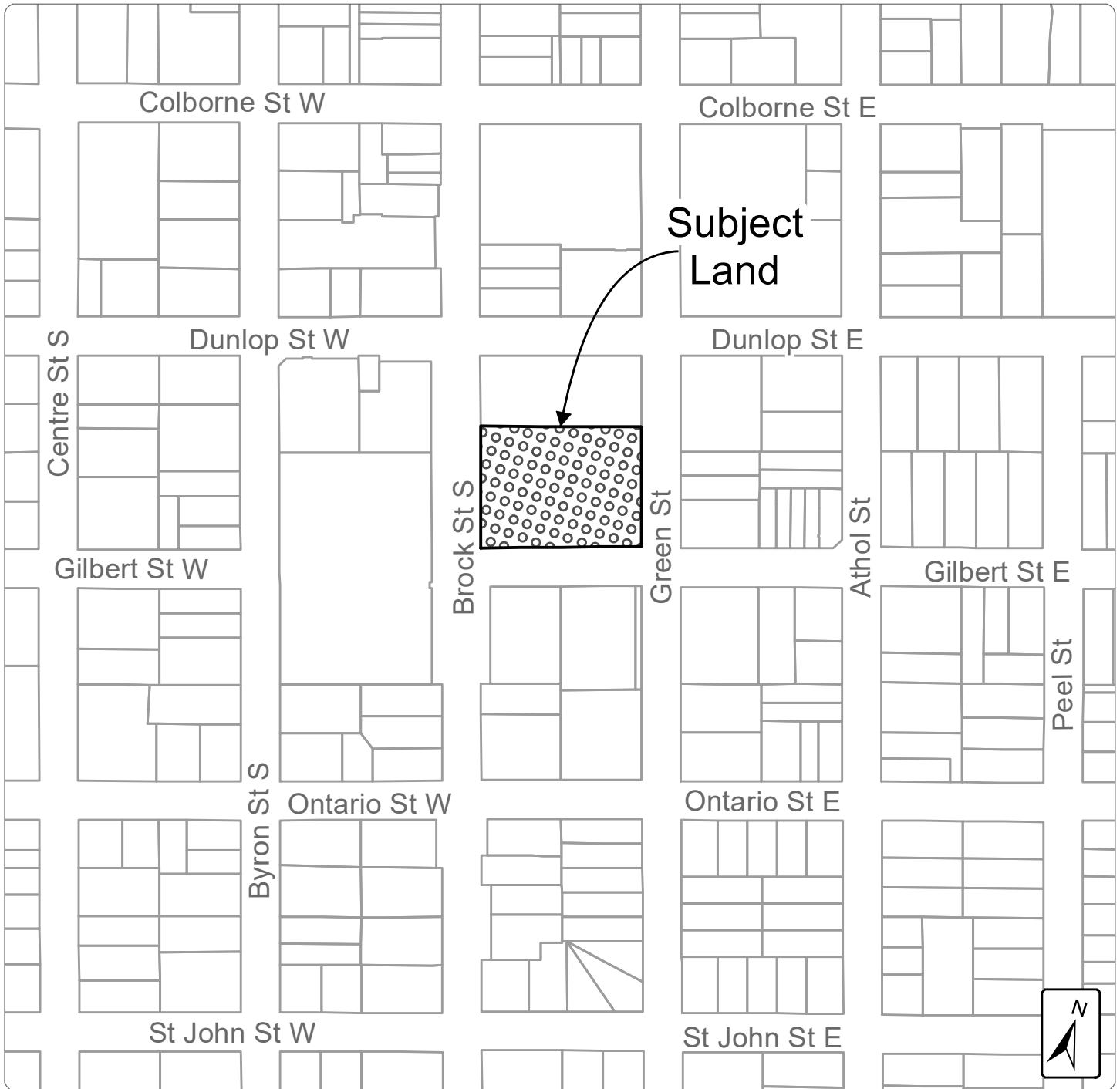
Attachment #4: Excerpt from the Town of Whitby Official Plan – Schedule 'H'


Attachment #5: Excerpt from the Town of Whitby Official Plan – Schedule 'I'

Attachment #6: Excerpt from Zoning By-law No. 2585

Attachment #1 Location Sketch

PDP 05-25



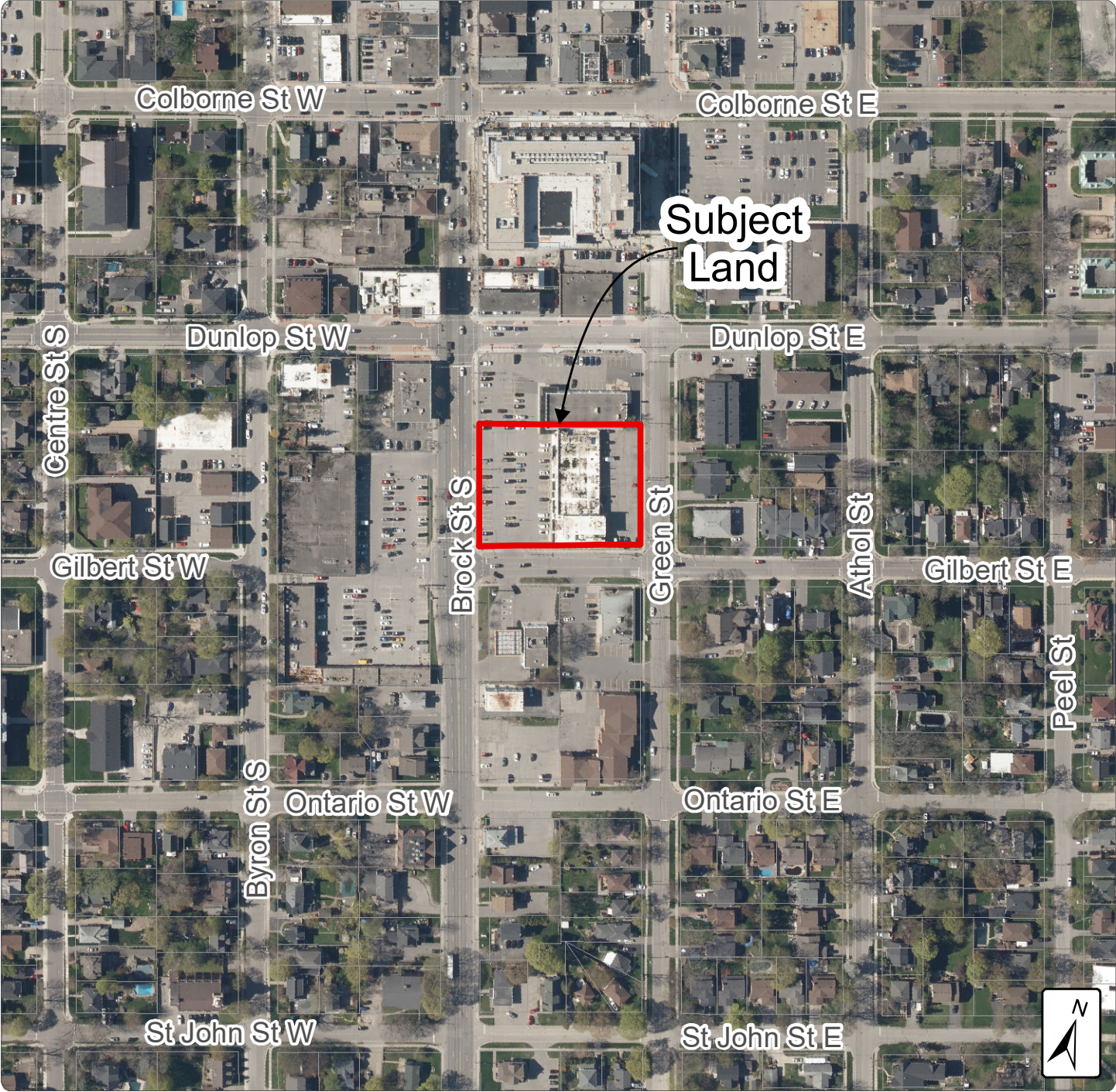
 **Town of Whitby Planning and Development Department**

Proponent: Bousfields Inc. c/o Yeda Whitby	File Number: DEV-27-24 (Z-12-24)	Date: February 2025
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Attachment #2 Aerial Context Map



 **Town of Whitby Planning and Development Department**

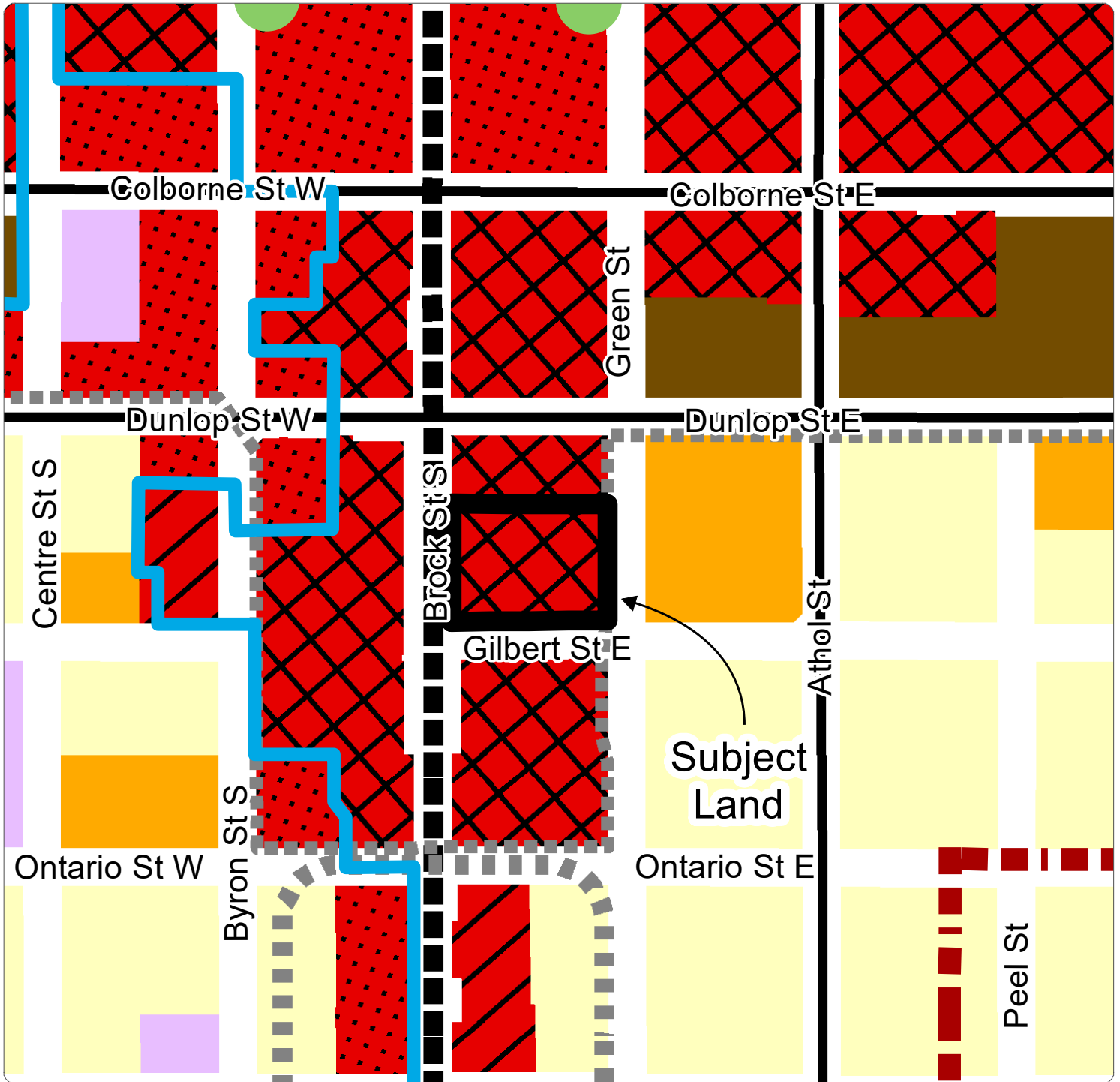
Proponent: Bousfields Inc. c/o Yeda Whitby	File Number: DEV-27-24 (Z-12-24)	Date: February 2025
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Attachment #4

Excerpt from the Town of Whitby Secondary Plan Schedule 'H'



Legend

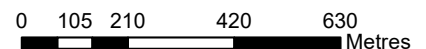
- Secondary Plan Area Boundary
- Major Central Area Boundary
- Intensification Area
- Intensification Corridor
- Werden's Plan Neighbourhood Heritage Conservation District
- Natural Hazards
- Low Density Mature Neighbourhood
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Downtown Mixed Use Area
- Corridor Mixed Use Area
- Heritage Mixed Use Area
- Institutional
- Existing Park & Open Space
- Proposed Park
- Urban Square
- Elementary Schools
- Secondary Schools
- Type B Arterial
- Type C Arterial
- Collector Road
- Proposed Connection
- Railway
- Full Interchange
- Major Transit Station

**Downtown Whitby Community
Secondary Plan
Land Use**

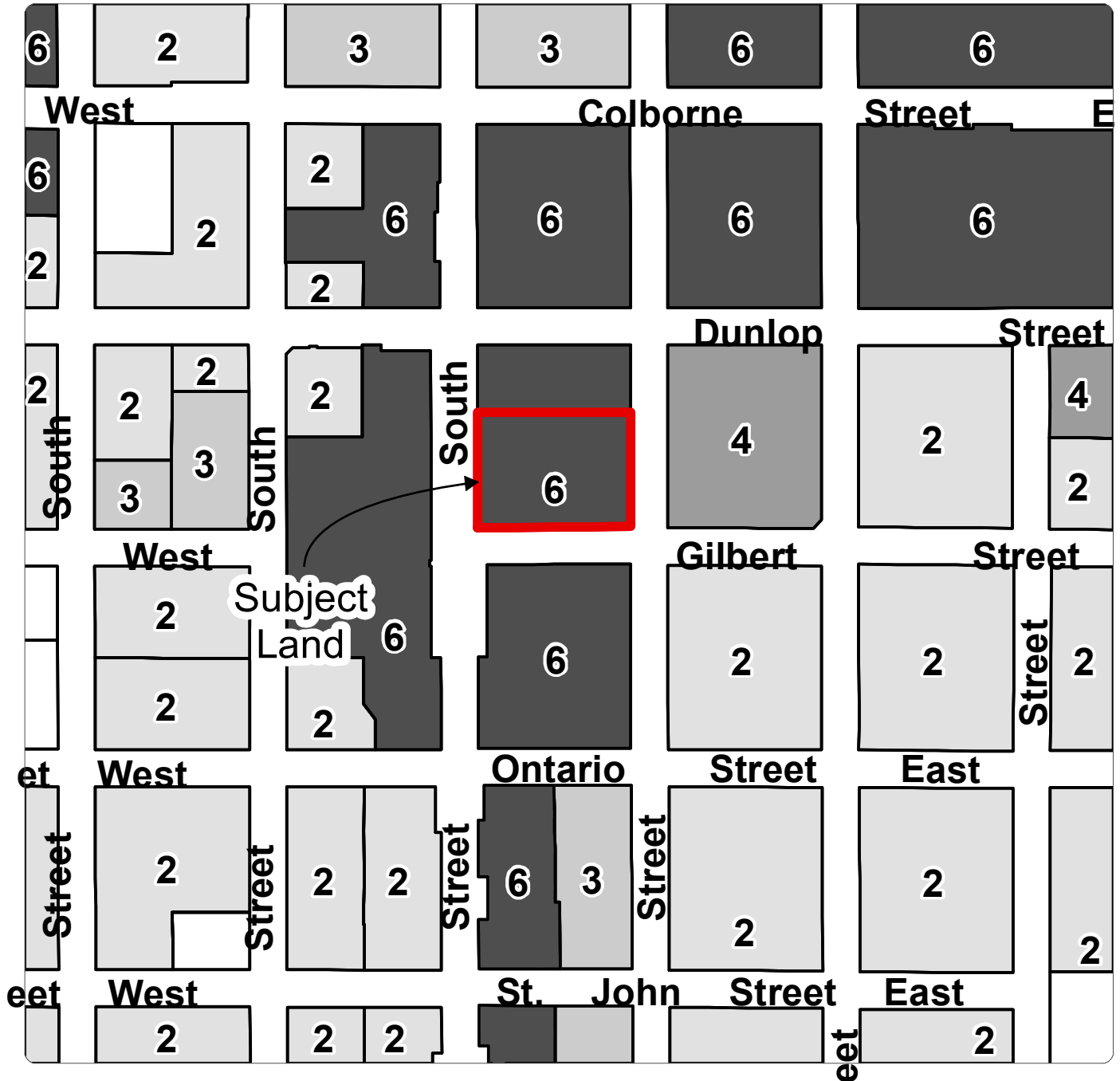


Schedule

**Official Plan
Town of Whitby**



Excerpt from the Town of Whitby Secondary Plan Schedule 'I'



Downtown Whitby Community

Secondary Plan Building Height

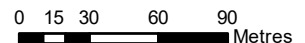
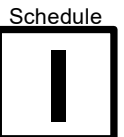
Legend

Maximum Building Height

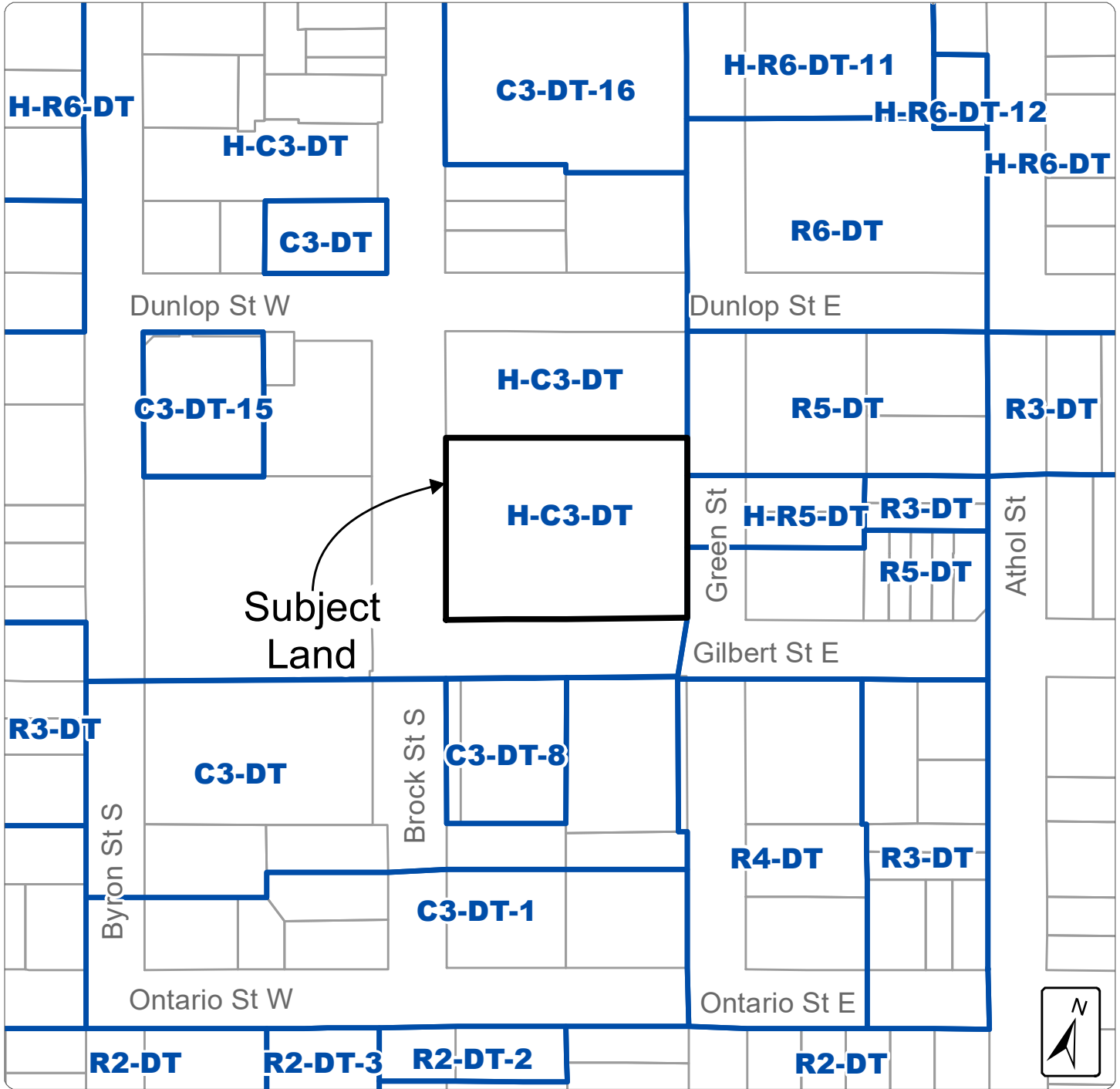
	2 Storeys		5 Storeys
	3 Storeys		6 Storeys
	4 Storeys		8 Storeys



Official Plan Town of Whitby



Excerpt from Zoning By-Law 2585



 **Town of Whitby Planning and Development Department**

Proponent: Bousfields Inc. c/o Yeda Whitby	File Number: DEV-27-24 (Z-12-24)	Date: February 2025
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External Data Sources:
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: **DEV-39-24: Zoning By-law Amendment Application, Madison Winchester Limited, Winchester Road East and Cachet Boulevard, File No. Z-20-24**

Date of meeting: February 10, 2025

Report Number: **PDP 06-25**

Department(s) Responsible:

Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of
Planning and Development

**Acknowledged by M. Gaskell,
Chief Administrative Officer**

**For additional information,
contact:**

J. Taylor, Director of Planning,
905-444-2908

M. Wianecki, Planner II, 905-444-
2932

Planning Report PDP 06-25 is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13

Anyone who attends the public meeting may present an oral submission, and/or provide a written submission to the Planning and Development Department on the proposed application. Also, any person may make written submissions at any time before Council makes a decision.

Additional information regarding statutory public meetings under the Planning Act can be found on the [Town's website](#).

If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

- A Zoning By-law Amendment Application has been submitted by Madison Winchester Limited for the subject land located at the northwest corner of Winchester Road East and Cachet Boulevard.
- The Zoning By-law Amendment proposes to change the current zoning from Institutional (I*) Zone within Zoning By-law No. 1784, to appropriate zone categories to permit the proposed development of 281 residential dwelling units. The proposed development consists of 28 single-detached dwellings and 25 townhouse blocks comprised of 253 townhouse units.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the northwest corner of Winchester Road East and Cachet Boulevard (refer to Attachment #1). The subject land is approximately 5.68 hectares (14.06 acres) in size.

The subject land is currently vacant. The land uses to the north and east, include residential uses, lands to the west include a stormwater management pond, while land uses to the south include agricultural uses (future employment lands) and a recreational golf course facility (refer to Attachment #2).

3.2. Application and Proposed Development

A Zoning By-law Amendment Application has been submitted by Madison Winchester Limited to accommodate the development of 281 residential dwelling units, consisting of: 28 single-detached dwellings; and 25 townhouse blocks comprised of 253 townhouse units. The single detached units are proposed to back onto the existing single detached dwellings on Kinross Avenue (refer to Attachment #3).

The Zoning By-law Amendment Application proposes to change the current zoning from Institutional (I*) Zone within Zoning By-law No. 1784, to appropriate zone categories to accommodate the proposed future development.

3.3. Documents Submitted in Support

The following documents were submitted in support of the application:

- A Geotechnical Investigation, prepared by Soil Engineers Ltd., dated October 2023;
- A Hydrogeological Assessment, prepared by Soil Engineers Ltd., dated October 2024;
- A Traffic Impact Study, prepared by Paradigm Transportation Solutions Limited, dated July 2024;
- A Noise Feasibility Study, prepared by Howe Gastmeier Chapnik Limited, dated September 2024;
- A Construction Management Report, prepared by Stantec Consulting Ltd., dated October 2024;
- A Functional Servicing Report, prepared by Stantec Consulting Ltd., dated October 2024;
- A Stormwater Management Report, prepared by Stantec Consulting Ltd., dated October 2024;
- A Civil Drawing Package, prepared by Stantec Consulting Ltd., dated October 2024;
- A Photometric Plan and Lighting Package, prepared by Moon-Matz Ltd., dated September 2024;
- A Site Plan, prepared by FBP Architects Inc., dated August 2023 (refer to Attachment #3);
- A Building Elevations and Floor Plans Package, prepared by FBP Architects Inc., dated 2024;
- A Landscape Plan and Details Package, prepared by Cosburn Nauboris Ltd., dated October 2024;
- An Arborist Report, prepared by Cosburn Nauboris Ltd., dated October 2024;
- A Tree Preservation Plan and Details Package, prepared by Cosburn Nauboris Ltd., dated October 2024;
- A Planning Justification Report, prepared by KLM Planning, dated October 2024;
- A Topographic Survey, prepared by Ontario Land Surveyor, dated October 2023;
- A Durham Region Site Screening Questionnaire Form, prepared by Madison Winchester Limited, dated November 2024; and,
- A Whitby Green Standard Letter and Checklist, prepared by Madison Winchester Limited, dated November 2024.

The above documents have been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Whitby Official Plan

The subject land is designated Low Density Residential and Medium Density Residential on Schedule J – Brooklin Community Secondary Plan (BCSP) of the Town of Whitby's Official Plan. The subject land also has a secondary school symbol located in the south-east portion of the property (refer to Attachment #4).

Low Density Residential

The Low Density Residential designation permits single detached, semi-detached, duplex dwellings and other similar ground related built forms with a density of up to 30 dwelling units per net hectare (4.4.3.4.1 b).

Medium Density Residential

The Medium Density Residential designation permits street and block townhouses, apartments, and other forms of multiple dwellings, not exceeding a height of 4 storeys, with a density range of greater than 30 and up to 65 dwelling units per net hectare (4.4.3.5.1 b).

Secondary School Symbol

Section 4.8.3.8 of the Town's Official Plan states that where a vacant school site shown in a Secondary Plan is not required by the school boards, the lands may be developed in accordance with the underlying land use designation without an amendment to the Plan.

4.2. Zoning By-law

The subject land is currently zoned Institutional (I*) Zone within Zoning By-law 1784 (refer to Attachment #5). The Institutional (I*) Zone does not permit the proposed use. Therefore, a Zoning By-law Amendment is required to permit the proposed development.

As the subject land is located within the Brooklin Community Secondary Plan Area, the site-specific By-law for the subject property will be premised upon applicable zoning provisions outlined within the Brooklin Community Secondary Plan Area By-law (# 7959-23).

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, public notice signs have been erected on the Winchester Road East and Cachet Boulevard frontage of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the applications and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development application. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the application will be considered.

8. Attachments:

Attachment #1: Location Sketch

Attachment #2: Aerial Context Map

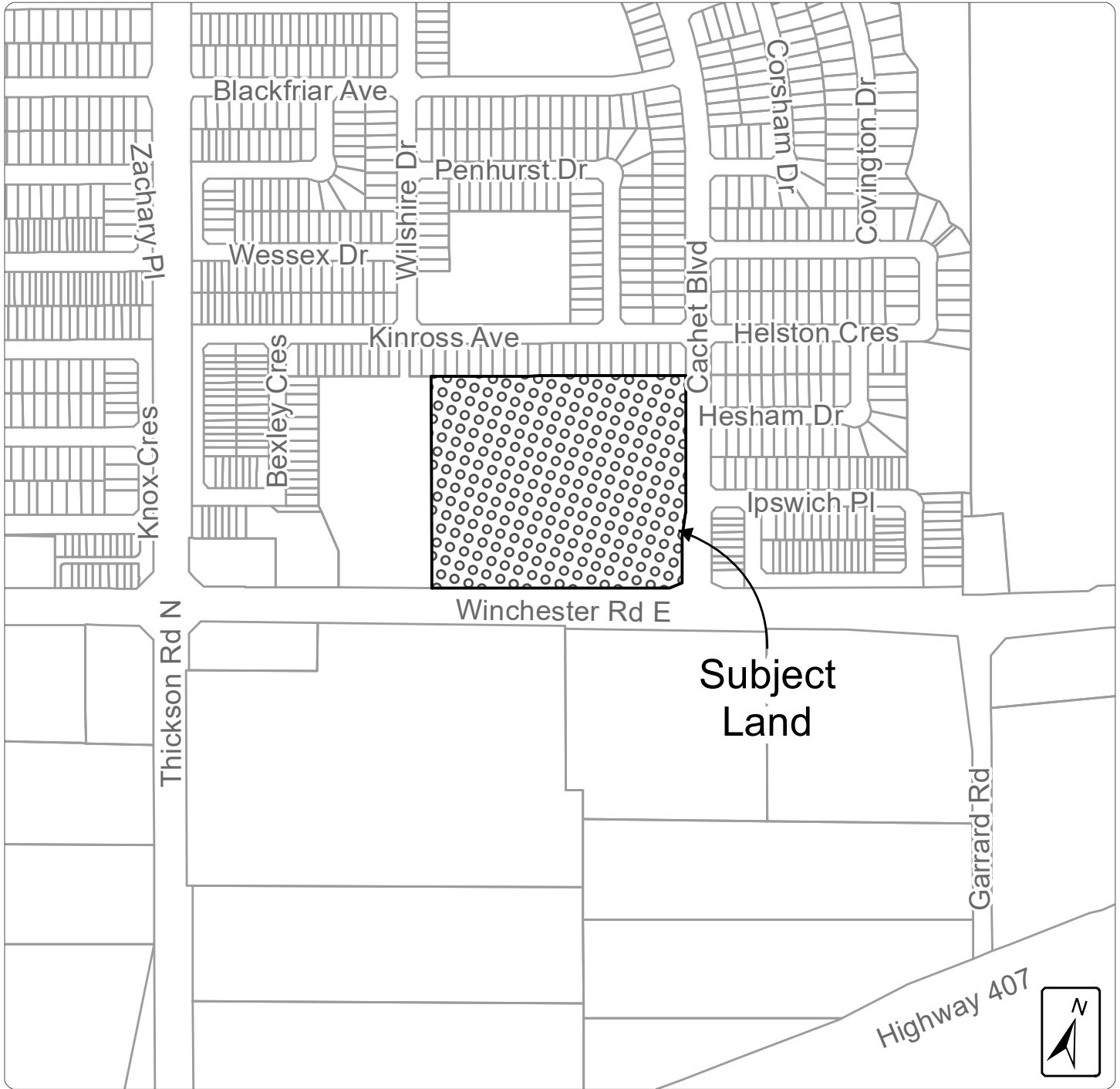
Attachment #3: Proponent's Proposed Site Plan

Attachment #4: Excerpt from the Town of Whitby Official Plan – Schedule J

Attachment #5: Excerpt from Zoning By-law No. 1784

Attachment #1 Location Sketch

PDP 06-25



 **Town of Whitby Planning and Development Department**

Proponent:
Madison Winchester Limited

File Number:
DEV-39-24
(Z-20-24, SP-15-24)

Date:
February 2025

External Data Sources:
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Attachment #2 Aerial Context Map

PDP 06-25



 **Town of Whitby Planning and Development Department**

Proponent:
Madison Winchester Limited

File Number:
DEV-39-24
(Z-20-24, SP-15-24)

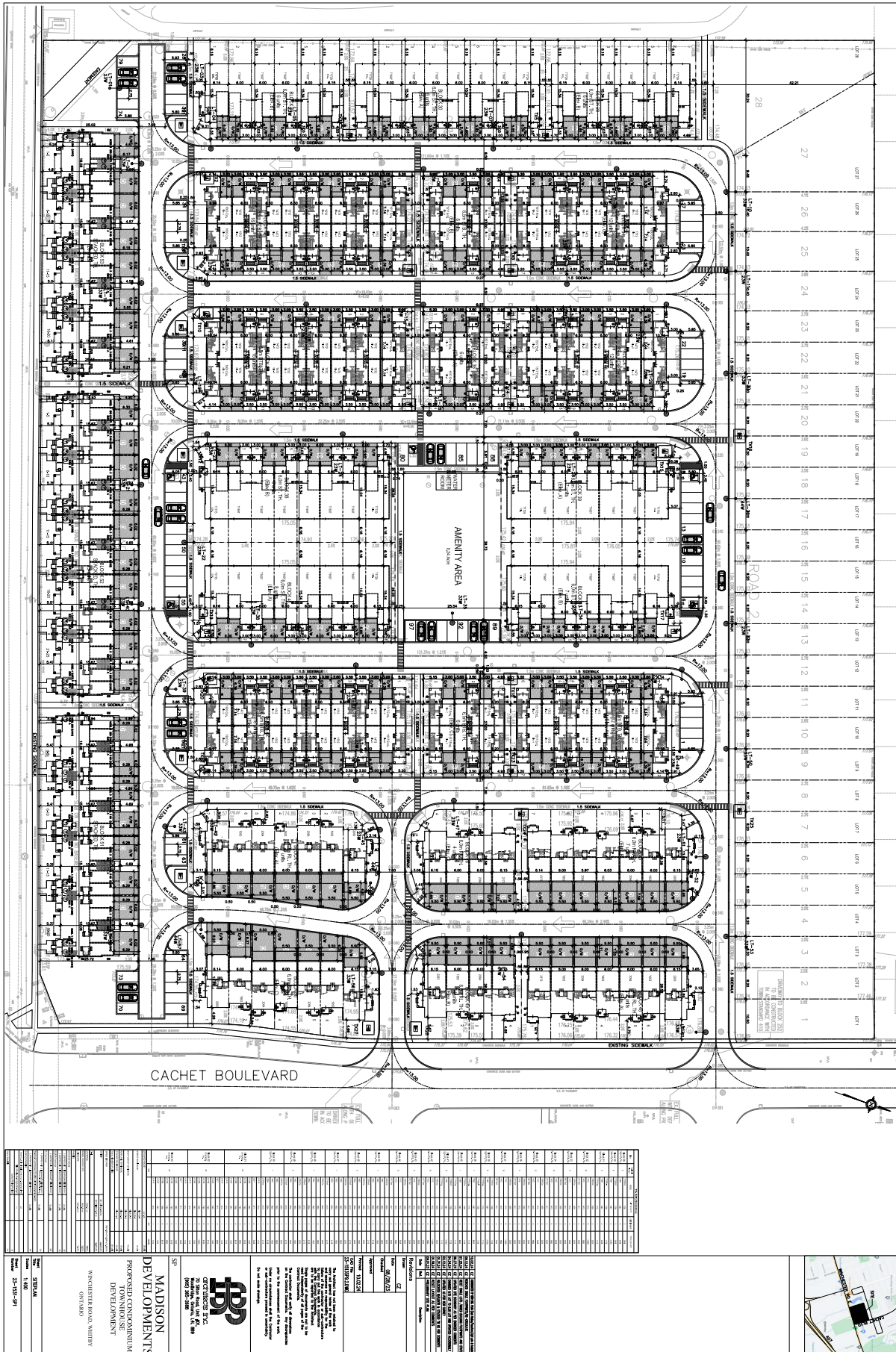
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Attachment #3 Proponent's Proposed Site Plan



UNIT NO.	SQ. FT.	APPROX. MONTHLY GROSS RENT	APPROX. MONTHLY NET RENT	APPROX. MONTHLY OPERATING EXPENSES	APPROX. MONTHLY NET OPERATING INCOME
1	1,100	\$1,500	\$1,200	\$200	\$1,000
2	1,100	\$1,500	\$1,200	\$200	\$1,000
3	1,100	\$1,500	\$1,200	\$200	\$1,000
4	1,100	\$1,500	\$1,200	\$200	\$1,000
5	1,100	\$1,500	\$1,200	\$200	\$1,000
6	1,100	\$1,500	\$1,200	\$200	\$1,000
7	1,100	\$1,500	\$1,200	\$200	\$1,000
8	1,100	\$1,500	\$1,200	\$200	\$1,000
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98	1,100	\$1,500	\$1,200	\$200	\$1,000
99	1,100	\$1,500	\$1,200	\$200	\$1,000
100	1,100	\$1,500	\$1,200	\$200	\$1,000

MADISON DEVELOPMENTS
PROPOSED CONDOMINIUM DEVELOPMENT
UNREGISTERED BOUNDARY SURVEY

DATE: 06/29/2021

PROJECT: 118234

SHEET NO.: 32

TOTAL SHEETS: 107

OWNER: LEE & ASSOCIATES, INC.
2000 BAYVIEW BLVD. SUITE 500
DALLAS, TEXAS 75225
(214) 760-5500

ARCHITECT: THE ARCHITECTURAL COLLECTIVE, INC.
1325 WEST STREET SUITE 200
DALLAS, TEXAS 75208
(214) 760-5500

ENGINEER: PETER L. SMITH, P.E.
3000 WEST STREET SUITE 200
DALLAS, TEXAS 75208
(214) 760-5500

Excerpt from the Town of Whitby Secondary Plan Schedule 'J'



LEGEND		
Low Density Residential	Business Park	Lands subject to Durham Regional Official Plan Policy 14.13.7 - D2
Medium Density Residential	General Industrial	Natural Hazards
High Density Residential	Major Open Space	Utility
Local Commercial	District Park	Health Precinct Special Policy Area
Special Purpose Commercial	Local Park	Community Central Area
Heritage Commercial	Parkette	Major Central Area
Major Commercial	Town Park	Heritage Conservation District Boundary
Major Commercial - 1	Institutional	Secondary Plan Boundary
Mixed-Use 1 - Community Central Area	Secondary Schools	Special Policy Area - Refer to Section 11.5.31.6
Mixed-Use 2 - HCD	Elementary Schools	Full Interchange
Mixed-Use 3	Linkage in NHS	Potential Interchange (Subject to Further Study)
Prestige Industrial	Deferred by the Region of Durham	Grade Separation

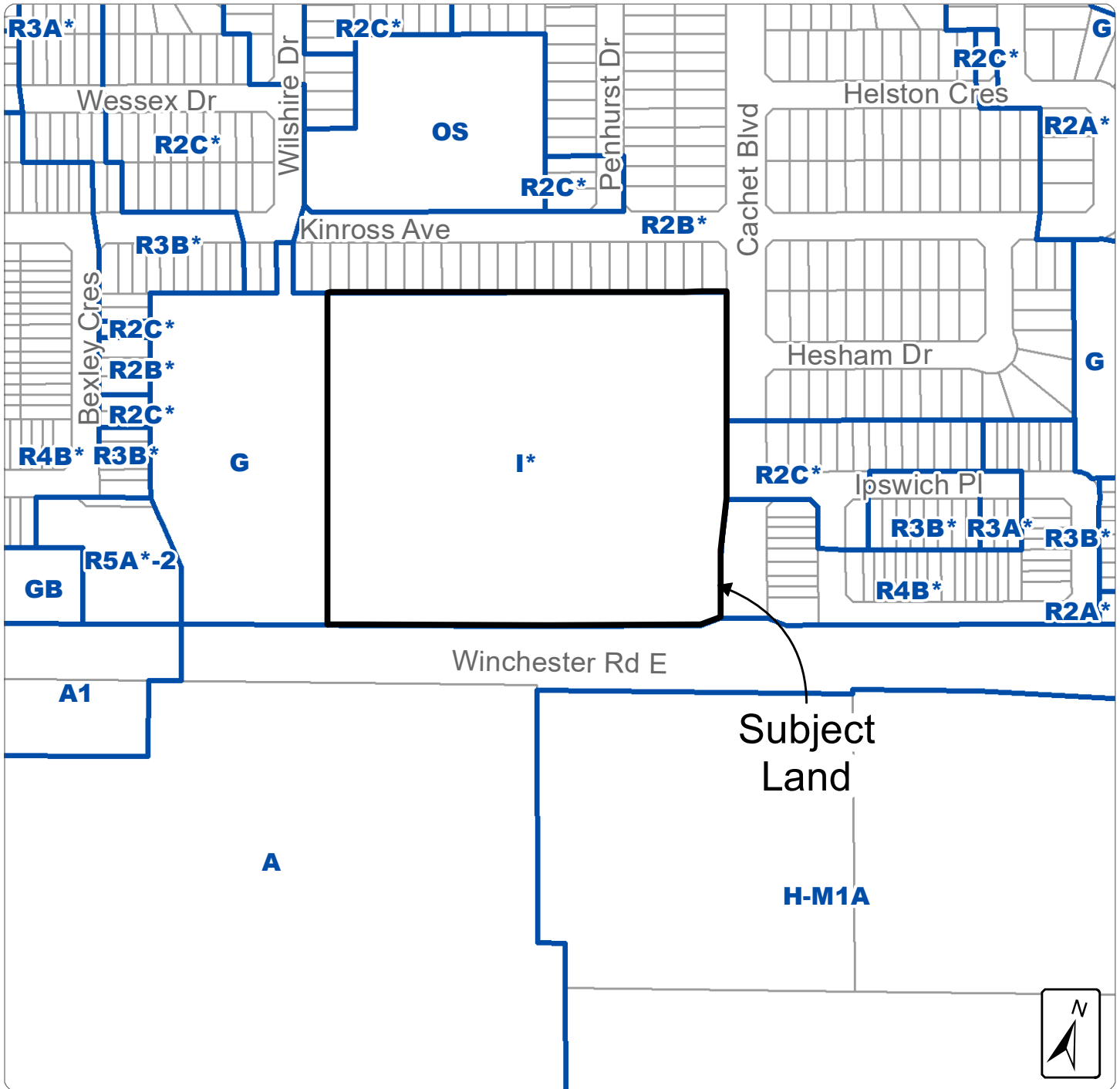
Excerpt from: Schedule J

Brooklin Community Secondary Plan

Town of Whitby

Attachment #5 Excerpt from Zoning By-Law 1784

PDP 06-25



Town of Whitby Planning and Development Department		
Proponent: Madison Winchester Limited	File Number: DEV-39-24 (Z-20-24, SP-15-24)	Date: February 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-01-25: Temporary Use Zoning By-law Amendment Application, RAI Architect Inc. c/o Charles McVety, 300 Water Street, File No. Z-01-25

Date of meeting: February 10, 2025

Report Number: PDP 07-25

Department(s) Responsible:
Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning and Development

Acknowledged by M. Gaskell, Chief Administrative Officer

For additional information, contact:

J. Taylor, Director of Planning, 905-444-2908

J. Takeuchi, Planner I, 905-444-2807

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If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

- A Temporary Use Zoning By-law Amendment has been submitted by RAI Architect Inc. c/o Charles McVety (Canada Christian College and School of Graduate Theological Studies) for 300 Water Street.
- The Temporary Use Zoning By-law Amendment proposes to permit an elementary and secondary school within the existing building.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the north side of Water Street, east of South Blair Street (refer to Attachment #1). It is municipally known as 300 Water Street and is approximately 4.45 hectares (10.99 acres) in size.

The Canada Christian College and School of Graduate Theology Studies is a post secondary institution which operates out of the existing building on the subject property.

The surrounding land uses include:

- a warehouse to the north;
- commercial and industrial uses to the east;
- a Water Supply Plant and open space/parkland, including the Waterfront Trail to the south;
- and vacant (Town owned) and industrial uses to the west (refer to Attachment #2).

3.2. Application and Proposed Development

A Temporary Use Zoning By-law Amendment Application has been submitted by RAI Architect Inc. c/o Charles McVety (Canada Christian College and School of Graduate Theological Studies), to permit elementary and secondary school uses, as additional uses within the existing building.

3.3. Documents Submitted in Support

A Proposed Concept Plan, prepared by RAI Architect Inc., dated December 17th, 2024 was submitted in support of the application (refer

to Attachment #3). The Plan has been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Whitby Official Plan

The subject land is designated Prestige Industrial on Schedule A – Land Use of the Town of Whitby Official Plan (refer to Attachment #4).

The use of land in Prestige Industrial areas shall generally include light industrial uses within enclosed buildings, professional, corporate, and industrial oriented office buildings, major office uses within Business Parks, data processing centres, commercial or technical schools, post-secondary educational facilities, research and development facilities, and incidental sales outlets within industrial buildings, provided such floor space is identified in Zoning By-law and is compatible with adjacent uses (4.7.3.2.2).

Elementary and secondary school uses are not permitted in the Prestige Industrial designation. However, as outlined within Section 10.1.9.1, Council may pass a by-law to permit the temporary use of land(s), building(s), or structure(s), for any purpose which is otherwise prohibited by the Zoning By-law, without an amendment to this Plan for a period of up to three years.

Upon the expiry of the time period(s) authorized by the Temporary Use By-law, the use of land, buildings, or structures that were permitted under such By-law shall cease to exist and cannot be considered as non-conforming uses (10.1.9.6).

4.2. Zoning By-law

The subject land is currently zoned Select Industrial (M1A) & Preferred Industrial (M1) within Zoning By-law No. 2585 (refer to Attachment #5). The Select Industrial (M1A) & Preferred Industrial (M1) Zones do not permit elementary or secondary school uses. Therefore, a Temporary Use Zoning By-law Amendment is required to permit the proposed use for a period of up to three years, in accordance with Section 10.1.9.1 of the Official Plan.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected on the Water Street frontage of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the applications and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the applications will be considered.

8. Attachments:

Attachment #1: Location Sketch

Attachment #2: Aerial Context Map

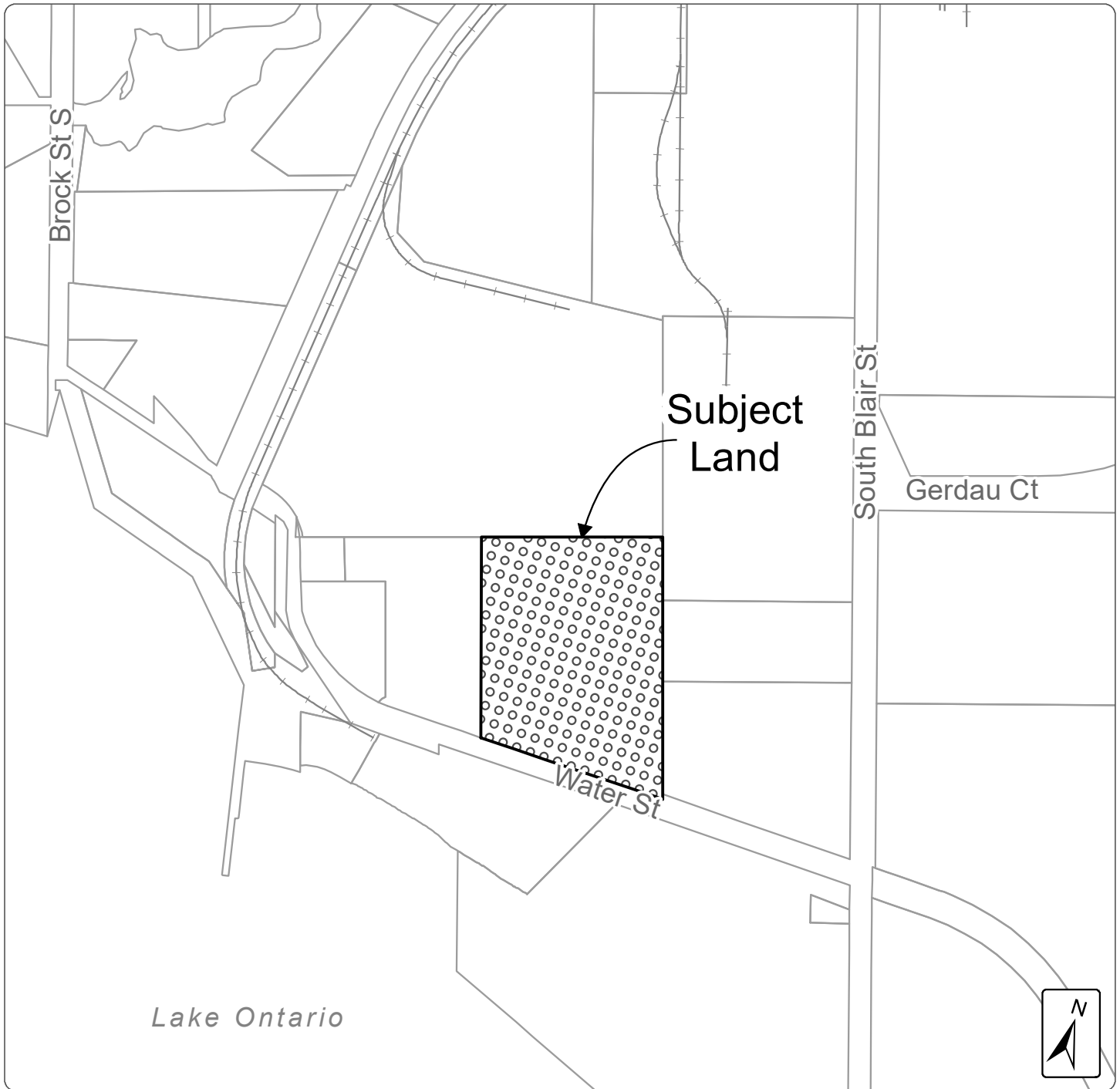
Attachment #3: Proponent's Proposed Concept Plan

Attachment #4: Excerpt from the Town of Whitby Official Plan – Schedule A

Attachment #5: Excerpt from Zoning By-law No. 2585

Attachment #1 Location Sketch

PDP 07-25



 **Town of Whitby Planning and Development Department**

Proponent:
RAI Architect Inc. c/o Charles McVety

File Number:
DEV-01-25 / Z-01-25

Date:
February 2025

External Data Sources:
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Attachment #2 Aerial Context Map

PDP 07-25



 **Town of Whitby Planning and Development Department**

Proponent:
RAI Architect Inc. c/o Charles McVety

File Number:
DEV-01-25 / Z-01-25

Date:
February 2025

External Data Sources:
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Proponent's Proposed Concept Plan

CANADA CHRISTIAN COLLEGE
INTERIOR ALTERATION
300 WATER STREET, WHITBY, ONTARIO

GENERAL NOTES

- 1. THE CONTRACTOR SHALL CAREFULLY CHECK ALL WORK IN ACCORDANCE WITH THE SPECIFICATIONS OF OWNER/CONTRACTOR AGREEMENT.
2. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE CURRENT EDITION.
3. THE CONTRACTOR SHALL EXAMINE ALL DOCUMENTS TO ESTABLISH THE FULL SCOPE OF WORK, VISIT THE SITE AND CAREFULLY ESTABLISH ALL CONDITIONS AFFECTING ALL ASPECTS OF THE WORK. INCLUDE ALL COSTS IN THE TENDER PRICES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES IN THE WORK BEFORE PROCEEDING WITH THE WORK.
5. WHEN THE WORK IS TOTALLY COMPLETE, THE CONTRACTOR SHALL LEAVE THE WORK CLEAN AND SUITABLE FOR OCCUPANCY BY THE OWNER/TEENANT.
6. PROVIDE SHOP DRAWINGS OF GUARDRAILS, HANDRAILS, STRUCTURAL STEEL, AND OTHER DETAILS AS REQUESTED BY CONSULTANTS AND BUILDING DEPARTMENT.

CONSTRUCTION NOTES

- 1. FOR ALL ALTERATIONS THE FIRE STOP BALUNGS PREVIOUS TO THE ALTERATION TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
2. PROVIDE COMBUSTIBLE AT ALL DOOR FRAMES AND PROVIDE ALL NECESSARY WOOD BLOCKING AT ALL WINDOWS AND DOORS.
3. ALL OPENING BOARD SURFACES ARE TO BE TYPED, FLEED, SANDED WITH PAINT FINISH.
4. PROVIDE CONTINUOUS SOLID BLOCKING IN STEEL STUDS PRIOR TO INSTALLATION OF ALL WALLS. AT ALL SLAT WALL MOUNTING LOCATIONS, CONFIRM WITH OWNER.
5. ALL IN-WOOD AND WOOD BLOCKING USED AT CEILING OR AS PART OF THE ROOF CONSTRUCTION SHALL BE PRESSURE-TREATED.
6. POLYETHYLENE VAPOUR BARRIER AT ALL PARTITIONS WHICH CONTINUE TO THE U/S OF STRUCTURE.
7. PROVIDE DETENTION DETAIL AT ALL PARTITIONS WHICH CONTINUE TO THE U/S OF STRUCTURE.
8. PROVIDE THERMAL INSULATION IN AREAS THAT WOULD BE FOUND THAT WOULD COMPROMISE THE FUNCTION OF THE OVER SYSTEM.

DEMOLITION NOTES

- 1. REMOVE EXISTING BUILDING MATERIALS ON SITE AS REQUIRED TO PREPARE FOR NEW CONSTRUCTION. SEE STRUCTURAL DWGS FOR SIZE, LOCATION AND SEPARATION WORK.
2. CONTRACTOR TO COORDINATE THE DEMOLITION WORK WITH ALL OTHER WORK TO MINIMIZE DISRUPTION TO THE ON-GOING BUSINESSES IN THE AREA.
3. TERMINATE AND CAP ALL PIPES, WIRING, CONDUIT AND FITTINGS AS REQUIRED. ARRANGE FOR AND/OR DISCONNECT ALL BUILDING SERVICES PRIOR TO REMOVAL OF PIPES OR WIRING.
4. EXISTING CONCRETE FLOOR SLAB TO BE FILLED AND GROUND SMOOTH AS BEHIND.

SITE STATISTICS

- 1. NUMBER OF WOOD TRUSS: 1000
2. TOTAL AREA: 1000 SQ. FT.
3. TOTAL VOLUME: 1000 CU. YD.
4. TOTAL WEIGHT: 1000 TONS
5. TOTAL LENGTH: 1000 FT.

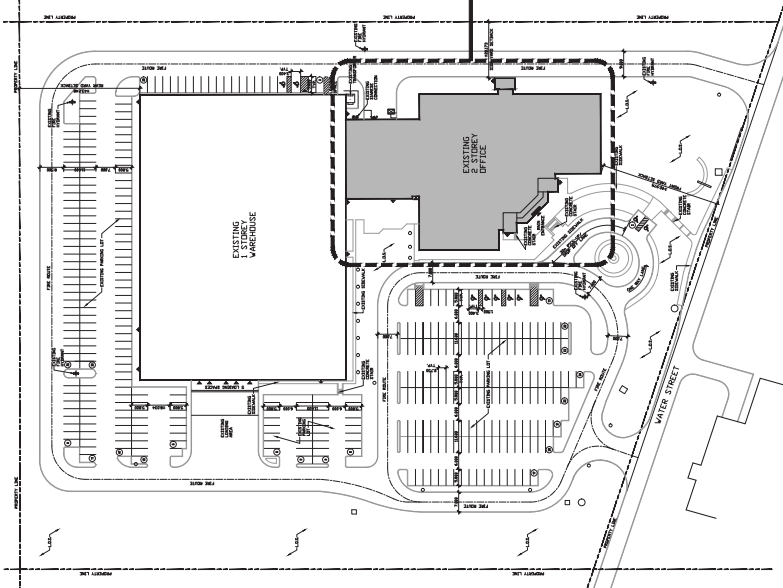
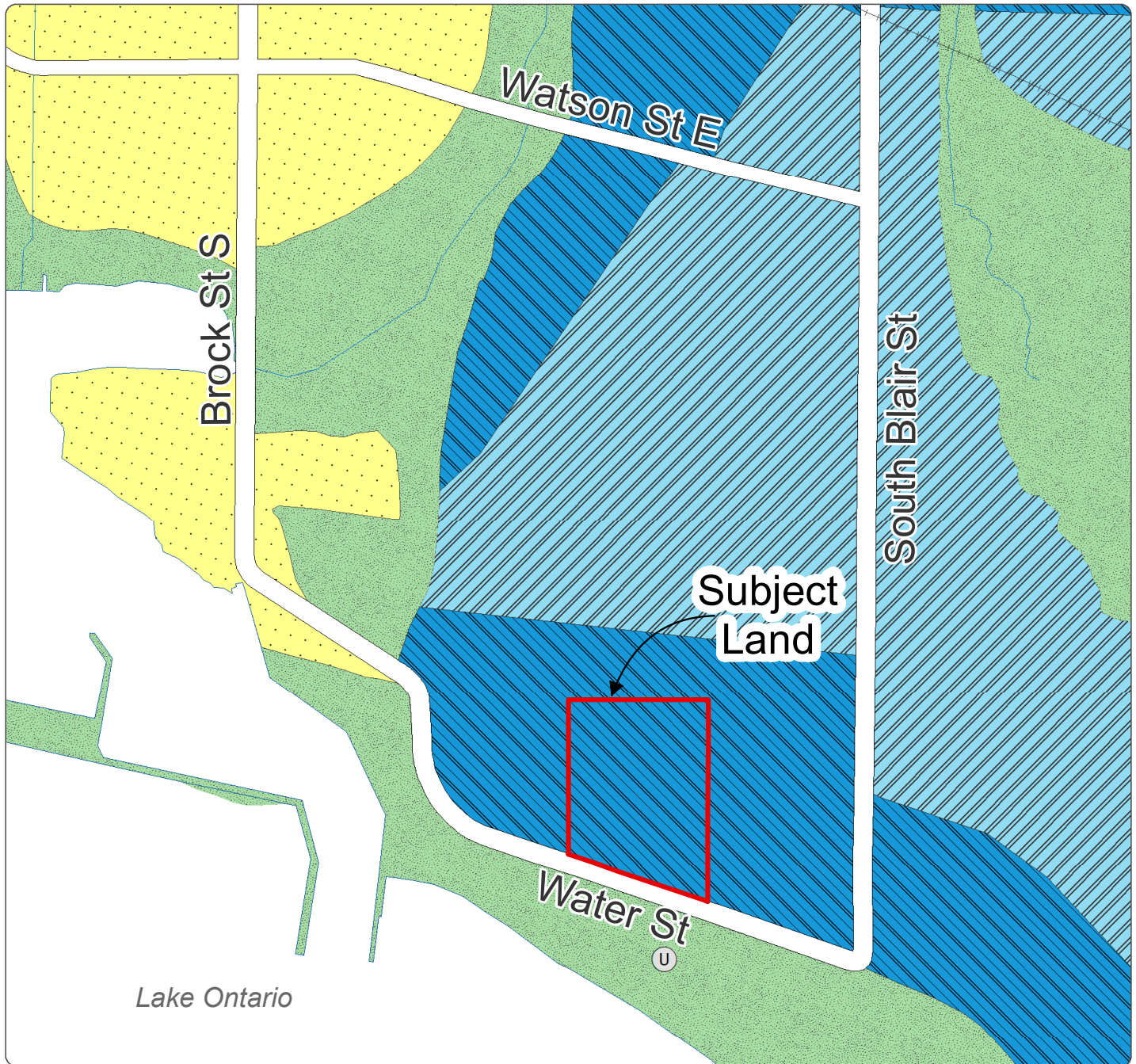


Table with columns: No., Description, Building Code, and various compliance checkboxes. Includes sections for Ontario Building Code Data Matrix, Part 11 - Renovation of Existing Building, and various code sections like 11.01, 11.02, 11.03, 11.04, 11.05, 11.06, 11.07, 11.08, 11.09, 11.10, 11.11, 11.12, 11.13, 11.14, 11.15, 11.16.

RAI ARCHITECT INC. logo and contact information. Includes name, address, phone, email, and website. Also includes a revision record table.

All references are to Division B of the CBC codes provided by (A) for Division A and (C) for Division C.

Excerpt from the Town of Whitby Official Plan Schedule 'A'



Legend

	Residential		Lands Subject to Durham Regional Official Plan Policy 14.13.7		D3 (Deferred by Region of Durham)
	Major Commercial		Deferred by the Region of Durham		
	Community Commercial		Local Central Area		
	Special Purpose Commercial		Resource Extraction Area (See Section 4.12)		
	Mixed Use		Utility		
	Prestige Industrial		2031 Urban Area Boundary		
	General Industrial		Community Central Area Boundary		
	Special Activity Node		Future Urban Development Area Boundary		
	Institutional		Greenbelt Protected Countryside Boundary		
	Major Open Space		Hamlet Boundary		
	Agricultural		Major Central Area Boundary		
	Hamlet		Municipal Boundary		
	Estate Residential		Southern Boundary of Oak Ridges Moraine		
	Special Policy Area Refer to section 11.5.31.6		Urban Central Area Boundary		

Notes: Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby Schedule

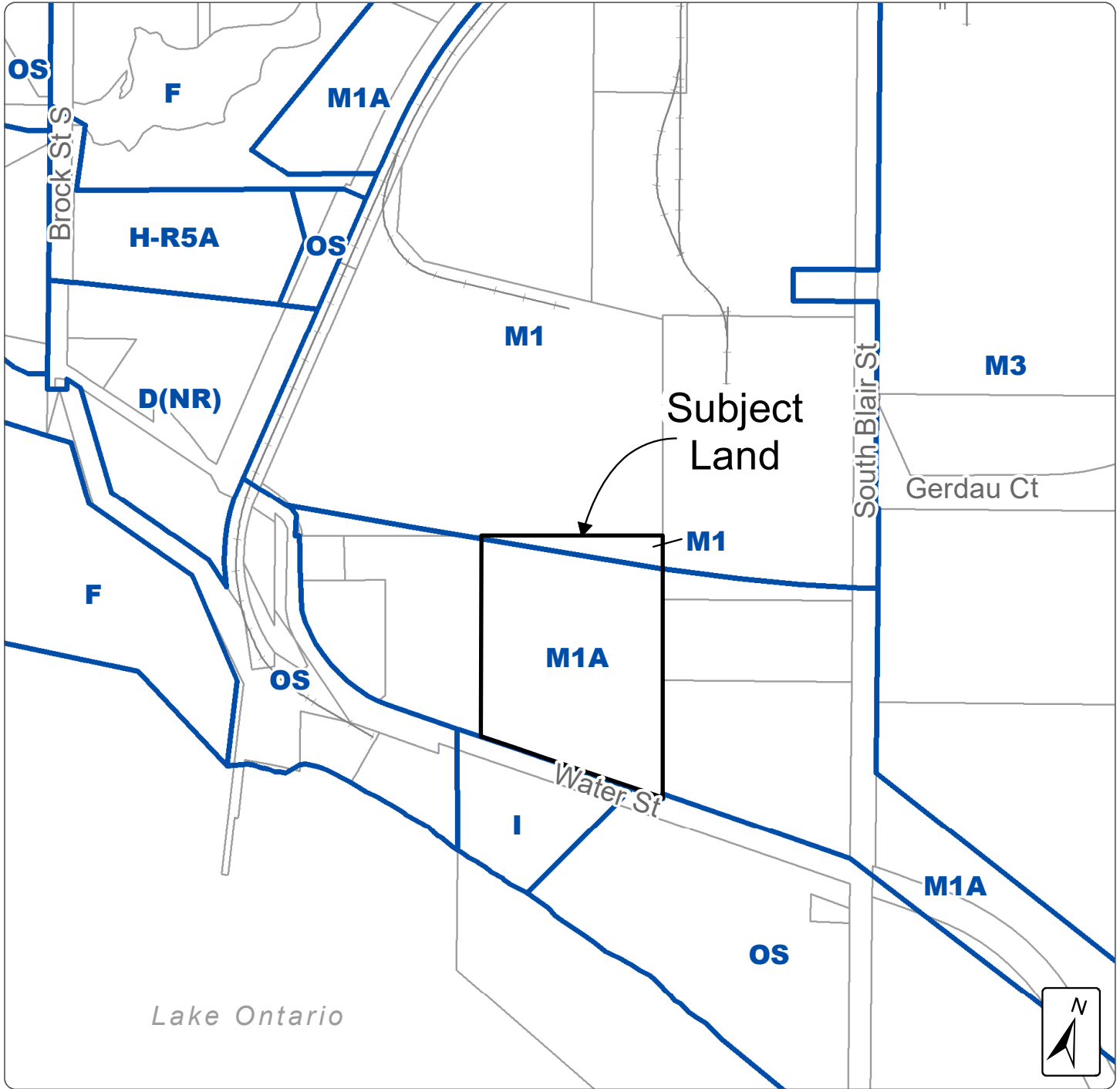
Excerpt from Schedule 'A' Land Use

A

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Attachment #5 Excerpt from Zoning By-Law 2585

PDP 07-25



Town of Whitby Planning and Development Department

Proponent:
RAI Architect Inc. c/o Charles McVety

File Number:
DEV-01-25 / Z-01-25

Date:
February 2025

External Data Sources:
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: **DEV-40-24: Zoning By-law Amendment Application, Whitby Brock Estates Ltd., 423, 425, 427, and 435 Brock Street North, File No. Z-21-24**

Date of meeting: February 10, 2025

Report Number: **PDP 08-25**

Department(s) Responsible:
Planning and Development Department
(Planning Services)

Submitted by:
R. Saunders, Commissioner of Planning
and Development

**Acknowledged by M. Gaskell, Chief
Administrative Officer**

For additional information, contact:

J. Taylor, Director of Planning, 905-444-2908

L. England, Planner I, 905-444-2822

Planning Report PDP 08-25 is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13

Anyone who attends the public meeting may present an oral submission, and/or provide a written submission to the Planning and Development Department on the proposed application. Also, any person may make written submissions at any time before Council makes a decision.

Additional information regarding statutory public meetings under the Planning Act can be found on the [Town's website](#).

If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

A Zoning By-law Amendment Application has been submitted by The Planning Partnership on behalf of Whitby Brock Estates Ltd. for the lands municipally known as 423, 425, 427, and 435 Brock Street North.

The Zoning By-law Amendment Application proposes to change the existing zoning from H-R4-DT (Holding – Residential Type 4 – Downtown Zone) to an appropriate zone category to permit a proposed 6-storey mixed-use development.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the east side of Brock Street North, south of Chestnut Street East (refer to Attachment #1).

The surrounding land uses include:

- Detached dwellings to the east;
- A detached dwelling and a mixed-use building to the north;
- Townhouse dwellings to the west; and,
- A detached dwelling and Church to the south.

Currently, each parcel contains a detached dwelling, all of which are to be removed (refer to Attachment #2).

3.2. Application and Proposed Development

A Zoning By-law Amendment Application has been submitted by the Planning Partnership on behalf of Whitby Brock Estates Ltd. to permit a 6-storey mixed-use development consisting of 112 residential dwelling units and one 72 square-metre at-grade commercial unit fronting Brock Street North.

3.3. Previous Applications

A Zoning By-law Amendment (Z-19-19) and Official Plan Amendment (OPA-2019-W/05) were previously submitted in October 2019 to permit a 7-storey residential building. The applications were deemed to be premature at that time as the Town was undertaking an update to the Downtown Whitby Secondary Plan and updated policies were not in force at the time of the applications. The applicant filed an appeal on the basis of a non-decision to the Local Planning Appeal Tribunal (now the Ontario Land Tribunal). The Tribunal ruled in favour of the Town of Whitby to not recommend approval of the Zoning By-law Amendment and Official Plan Amendment for the proposed 7-storey residential development. The Downtown Whitby Secondary Plan has since been updated and is in full force and effect for the majority of the affected lands.

3.4. Documents Submitted in Support

A number of documents have been submitted in support of the applications, including the following:

- An Architectural Set including a Concept Plan (refer to Attachment #3) and Building Elevations (refer to Attachment #4), prepared by Giovanni A. Tassone Architect Inc., dated October 2024.
- A Construction Management Plan, prepared by MLM Management Group, dated September 2024.
- A Functional Servicing Report and Stormwater Management Report, prepared by Valdor Engineering Inc., dated September 2024.
- A Geotechnical Investigation Report, prepared by Soil-Mat Engineers & Consultants Ltd., dated August 16, 2019.
- A Hydrogeological Investigation Report, prepared by Hydrogeology Consulting Services, dated December 5, 2019.
- A Landscape Plan, prepared by The Planning Partnership, dated October 8, 2024.
- A Long-Term Dewatering Assessment, prepared by Hydrogeology Consulting Services, dated September 9, 2024.
- A Noise Impact Study, prepared by Howe Gastmeier Chapnik Limited, dated September 29, 2024.
- A Phase 1 Environmental Site Assessment Update, prepared by Soil-Mat Engineers & Consultants Ltd., dated September 16, 2024.
- A Phase 2 Environmental Site Assessment, prepared by Soil-Mat Engineers & Consultants Ltd., dated August 30, 2019.

- A Plan of Survey, prepared by IBW Surveyors, dated August 29, 2019.
- A Panning Rationale Report and Urban Design Report, prepared by The Planning Partnership, dated October 21, 2024.
- A Shadow Study, prepared by Giovanni A. Tassone Architect Inc., dated October 2024.
- A Site Servicing Plan, prepared by Valdor Engineering Inc., dated September 16, 2024.
- A Stage 1 and 2 Archaeological Assessment, prepared Amick Consultants Limited, dated September 3, 2019.
- A Transportation Impact Study, prepared by Paradigm Transportation Solutions Limited, dated September 2024.

The above documents have been circulated to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Whitby Official Plan

The subject land is designated as “Mixed Use” in the Town of Whitby Official Plan. Mixed Use areas are intended to provide new opportunities for housing and employment. Redevelopment in these areas are intended to be accessible, transit-supportive, and pedestrian-oriented.

Downtown Whitby Community Secondary Plan

Although OPA 126 (Downtown Whitby Secondary Plan update) is in full force and effect for the majority of the lands, there is an outstanding appeal to the Ontario Land Tribunal for the subject land (Case No: OLT-24-000115), by Whitby Brock Estates Inc. As such, the following Official Plan policies will not apply to the subject lands until or unless the appeal has been withdrawn or resolved.

The subject land is intended to be designated as “Corridor Mixed Use Area” in the Downtown Whitby Community Secondary Plan (refer to Attachment #5). The intent of the Corridor Mixed Use designation is to accommodate a mix of uses along the Dundas Street and Brock Street Intensification Corridors, providing an extension of the commercial, office and residential uses of the Downtown core.

As per Section 11.3.7.8.8, new development and redevelopment shall enhance the pedestrian comfort along Brock Street and Dundas Street by locating new buildings close to the street, activating the street frontage and enhancing the public realm in front of buildings.

As per the updated Secondary Plan, the maximum permitted building height for the lands to the north and south of the subject lands is 6 storeys. That would apply to the subject lands as well upon resolution of the appeal.

4.2. Zoning By-law

The subject land is Zoned H-R4-DT (Holding – Residential Type 4 – Downtown Zone) in Zoning By-law 2585 (refer to attachment #6). The H-R4-DT Zone does not permit the proposed uses.

A Zoning By-law Amendment is required to rezone the subject land to an appropriate Zone category to permit a proposed mixed-use development.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected Brock Street North of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the applications and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

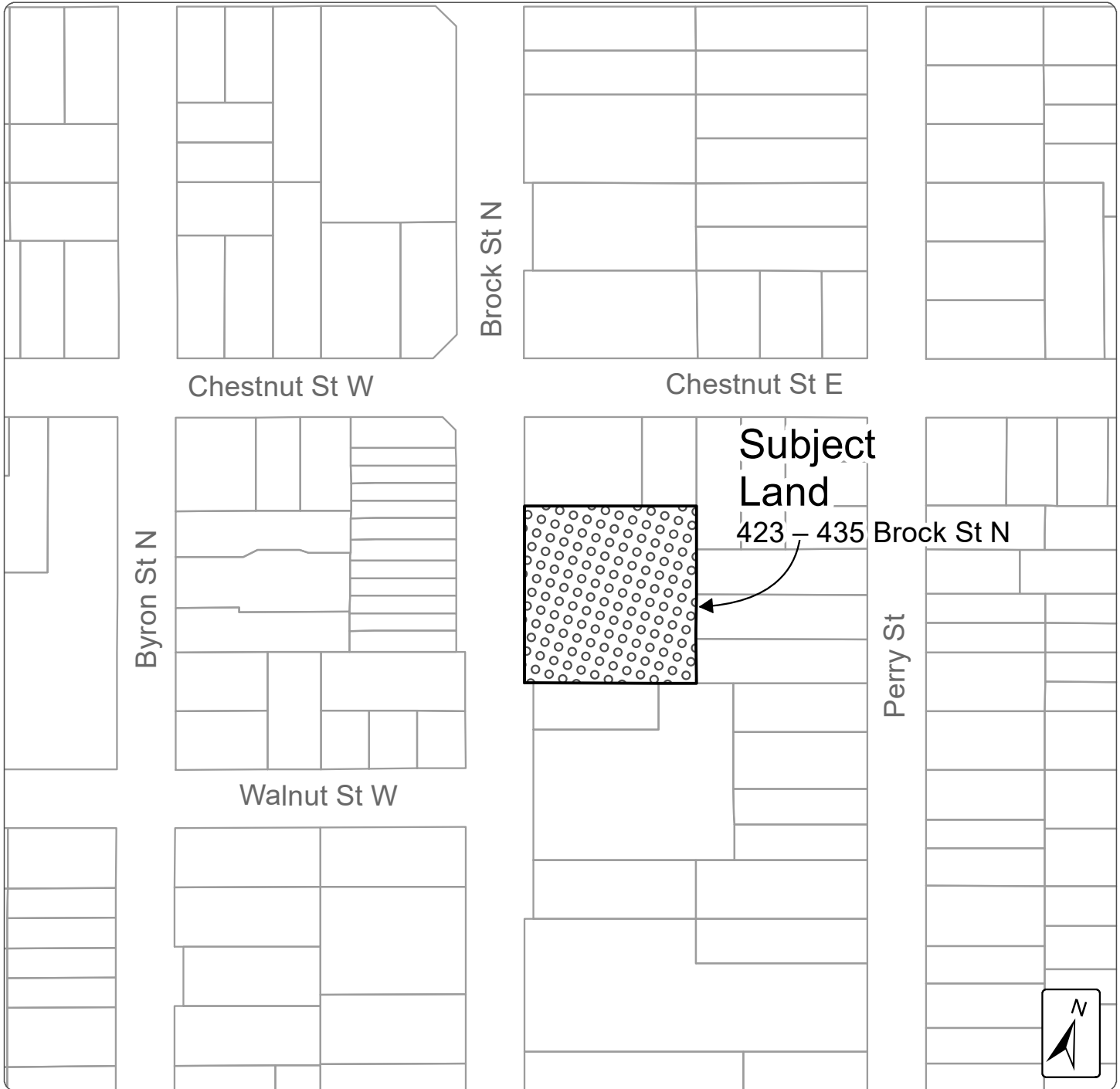
All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the applications will be considered.

8. Attachments:

- Attachment #1 Location Sketch
- Attachment #2 Aerial Context Map
- Attachment #3 Proponent's Proposed Concept Plan
- Attachment #4 Proponent's Proposed Elevations Plan
- Attachment #5 Excerpt from Town of Whitby Official Plan Schedule 'H' –
Downtown Community Secondary Plan
- Attachment #6 Excerpt from Zoning By-law 2585

Attachment #1 Location Sketch

PDP 08-25



 **Town of Whitby Planning and Development Department**

Proponent:
Whitby Brock Estates Ltd.

File Number:
DEV-40-24 (Z-21-24)

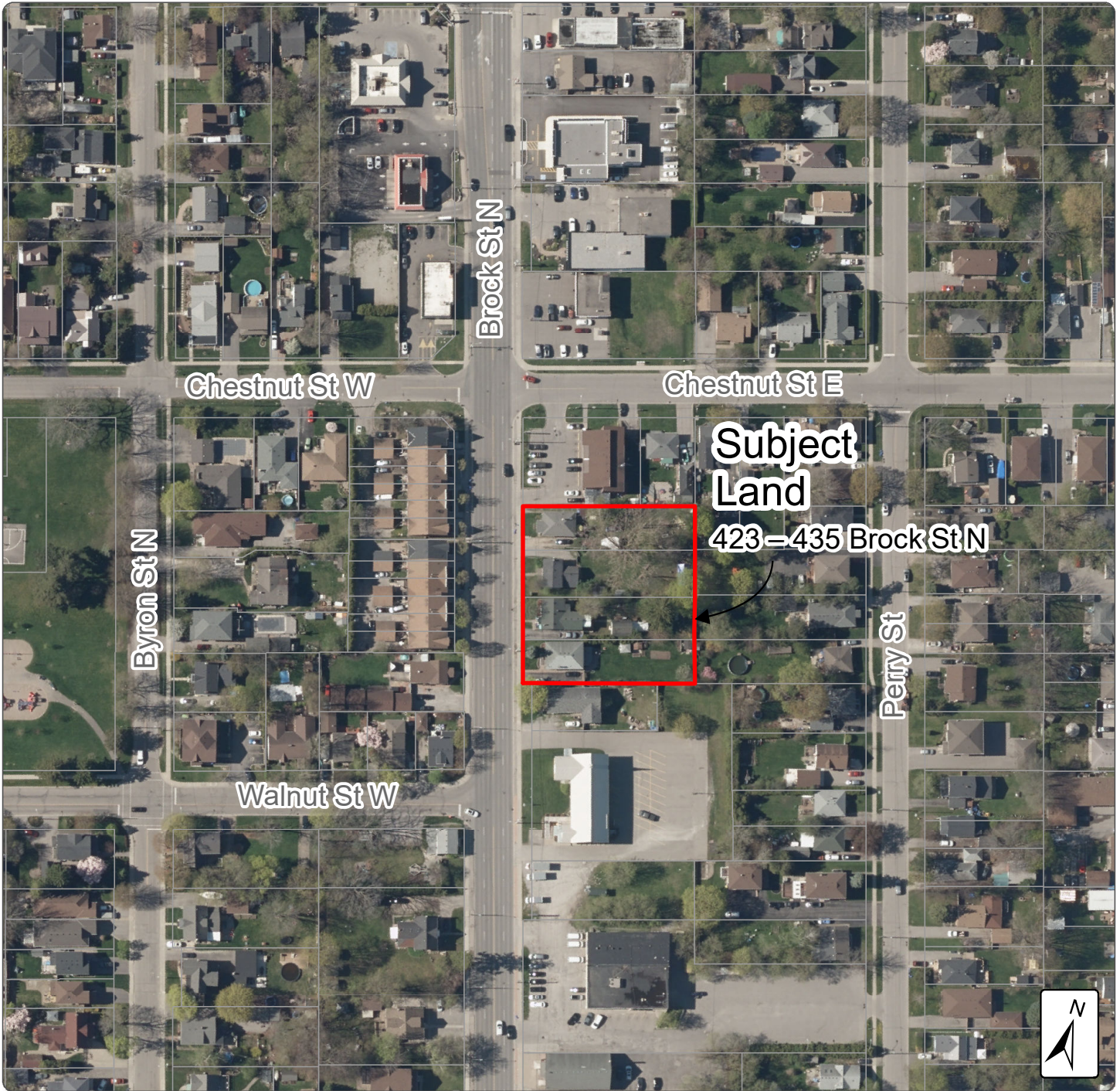
Date:
February 2025

External Data Sources:
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Attachment #2 Aerial Context Map

PDP 08-25



 **Town of Whitby Planning and Development Department**

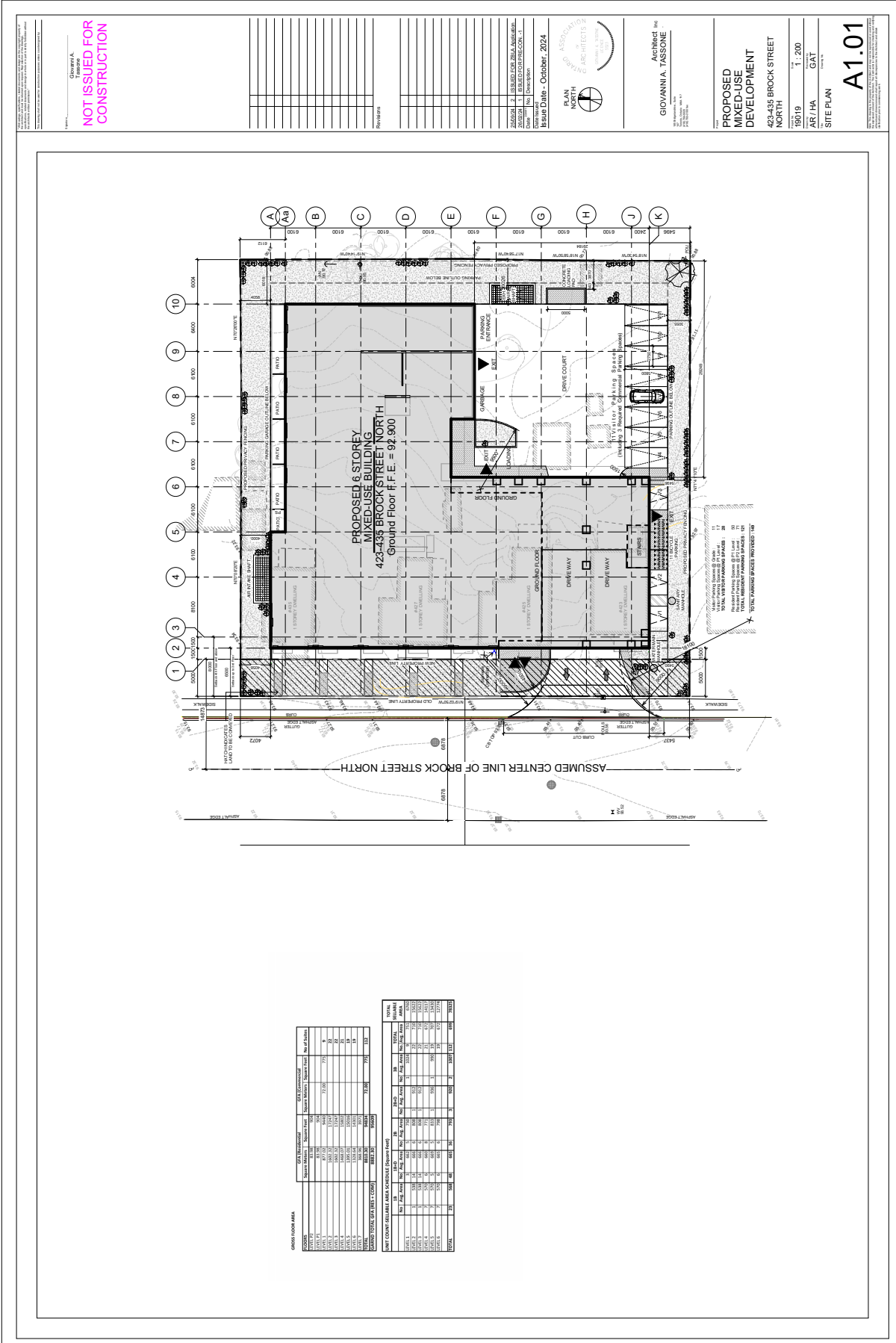
Proponent: Whitby Brock Estates Ltd.	File Number: DEV-40-24 (Z-21-24)	Date: February 2025
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Attachment #3 Proponent's Proposed Concept Plan



Proponent's Proposed Building Elevations

NOT ISSUED FOR CONSTRUCTION

Architect
Giovanna A. Tassone

ASSOCIATION OF ARCHITECTS

Architect Inc.
GIOVANNA TASSONE

PROPOSED MIXED-USE DEVELOPMENT
423-435 BROCK STREET NORTH

Scale: 1:200
AR / HA
BUILDING ELEVATIONS

A3.01

SOUTH ELEVATION 1:200

WEST ELEVATION 1:200

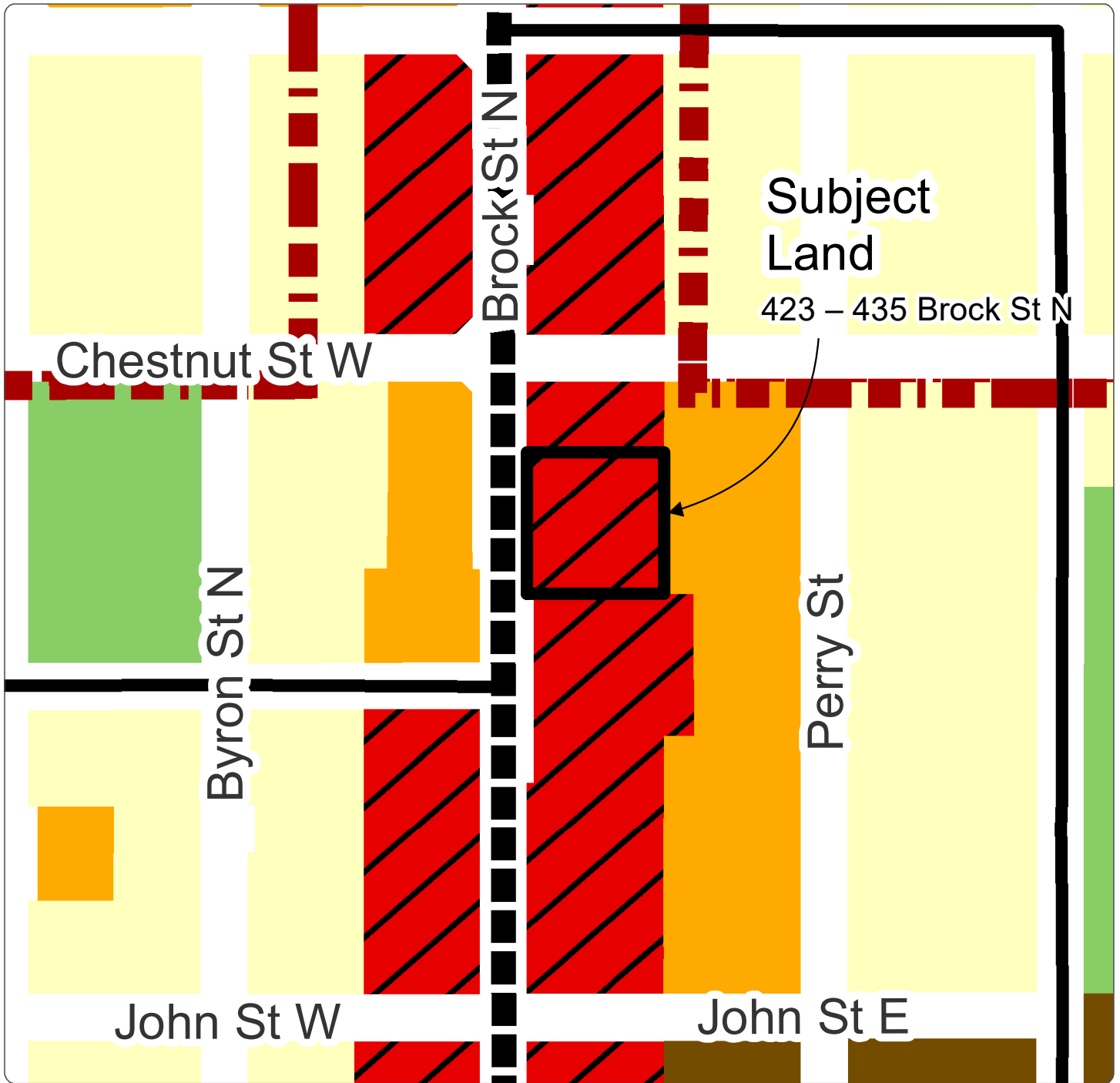
EAST ELEVATION 1:200

NORTH ELEVATION 1:200

Architectural details and notes are provided for each elevation, including grid lines (1-10 and A-K), elevation markers, and material callouts.

Attachment #5

Excerpt from the Town of Whitby Secondary Plan Schedule 'H'



Legend

- Secondary Plan Area Boundary
- Major Central Area Boundary
- Werden's Plan Neighbourhood Heritage Conservation District
- Natural Hazards
- Low Density Mature Neighbourhood
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Downtown Mixed Use Area
- Corridor Mixed Use Area
- Heritage Mixed Use Area
- Institutional
- Existing Park & Open Space
- Proposed Park
- Urban Square
- Elementary Schools
- Secondary Schools
- Type B Arterial
- Type C Arterial
- Collector Road
- Proposed Connection
- Railway
- Full Interchange
- Major Transit

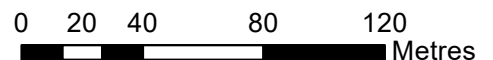
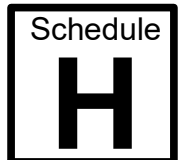
Downtown Whitby Community

Secondary Plan

Land Use

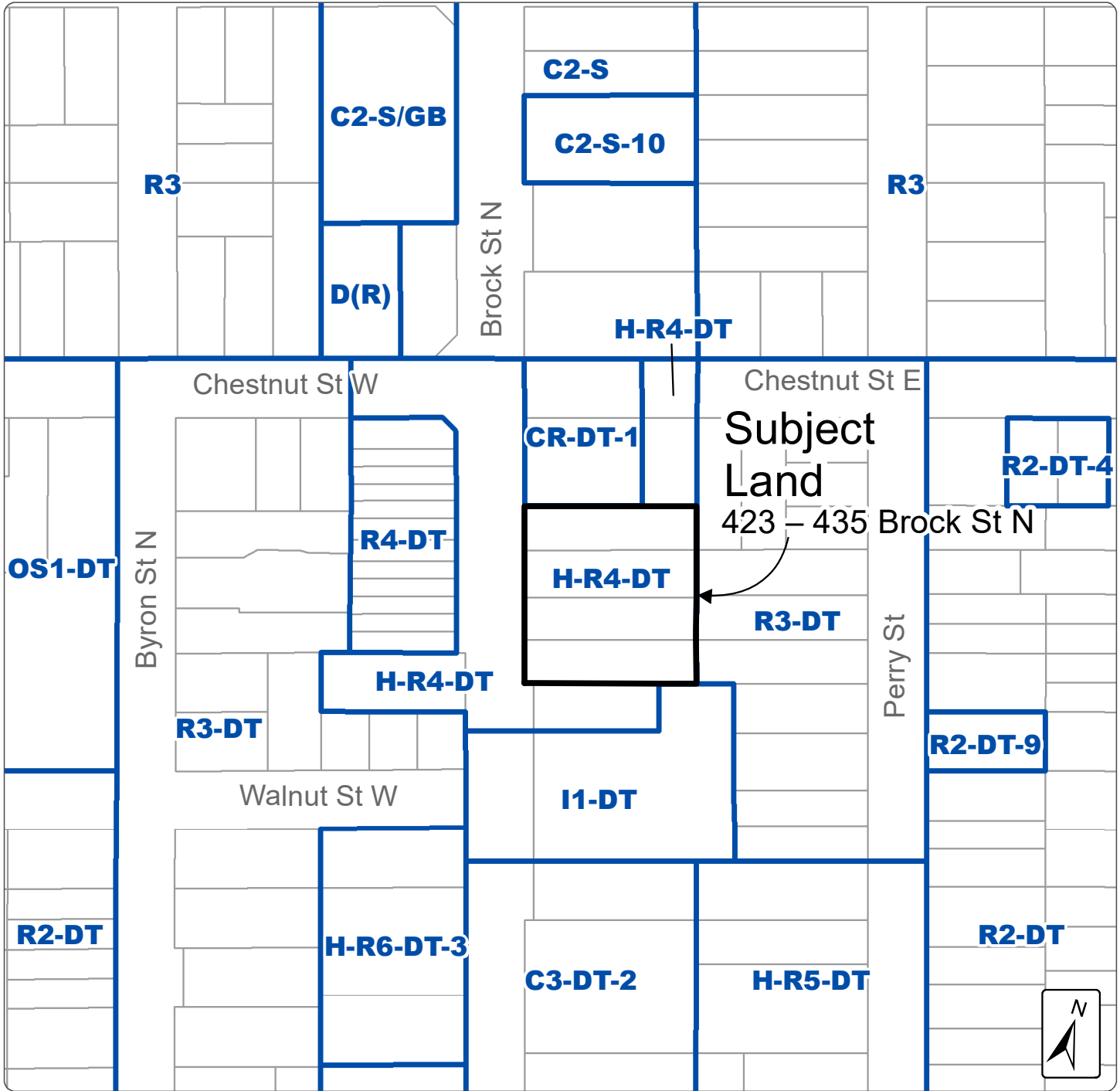


Official Plan
Town of Whitby



Attachment #6 Excerpt from Zoning By-Law 2585

PDP 08-25



Town of Whitby Planning and Development Department		
Proponent: Whitby Brock Estates Ltd.	File Number: DEV-40-24 (Z-21-24)	Date: February 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: **DEV-42-24: Official Plan Amendment and Zoning By-law Amendment Applications, Coronation Properties Inc., 5900 Coronation Road, File No. OPA-2024-W/11, Z-22-24**

Date of meeting: February 10, 2025

Report Number: **PDP 09-25**

Department(s) Responsible:
Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning and Development

Acknowledged by M. Gaskell, Chief Administrative Officer

For additional information, contact:

J. Taylor, MCIP, RPP,
Director of Planning x. 2908

J. Malfara, MCIP, RPP
Principal Planner x. 2930

Planning Report PDP 09-25 is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13.

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1. Highlights:

- An Official Plan Amendment Application to amend the Envision Durham/Town of Whitby Official Plan, and a Zoning By-law Amendment Application to amend Zoning By-law 1784 have been submitted by the Biglieri Group on behalf of Coronation Properties Inc, for the lands located south of Winchester Road West, on the west side of Coronation Road, municipally addressed as 5900 Coronation Road.
- The proposed applications would facilitate the development of a concrete batching plant, a masonry recycling transfer station and accessory soil and gravel depot on the subject land.
- If approved, the proponent will be required to submit a Site Plan application at a later date.

2. Purpose:

The purpose of this report is to present information related to the Official Plan Amendment and Zoning By-law Amendment applications at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is municipally known as 5900 Coronation Road and is situated on the south side of Winchester Road West, on the west side of Coronation Road and is approximately 8.53 hectares (21.06 acres) in size (refer to Attachment 1).

The subject land is currently occupied by a vacant detached dwelling and several accessory buildings. The land includes a pond adjacent to the rear lot line, and a smaller pond located along its frontage. The property is predominantly vacant/clear of any vegetation, save and except for vegetation situated around its perimeter (refer to Attachment 2).

The subject land is associated with a former aggregate pit on the east side of Coronation Road (Hess Pit) and has been used historically as an aggregate storage area and contractors' yard.

The subject land is surrounded by: an existing residential land use to the north (owned by the applicant); open space to the south; a woodlot/valley lands, vehicle storage lot (MTO property) and future golf course to the east; and open space/stormwater management pond associated with Highway 412 to the west (refer to Attachment 2).

3.2. Applications and Proposed Development

The proposed development is to include a concrete batching plant, a masonry recycling transfer station and accessory soil and gravel depot on the subject land (refer to Attachment 3).

The purpose of the proposed Official Plan Amendment is to permit the proposed use within the Major Open Space land use designation.

The purpose of Zoning By-law Amendment is to change the zoning of the subject land from Agricultural (A) to an appropriate zone category to permit the proposed development on the subject land.

If approved, the proponent will be required to submit a Site Plan application at a later date.

3.3. Documents Submitted in Support

A number of documents were submitted in support of the applications, including the following:

- A Planning Rationale Report prepared by The Biglieri Group Ltd. dated November 2024;
- A Concept Site Plan prepared by The Biglieri Group Ltd. dated November 2024 (refer to Attachment 3);
- A Functional Servicing Report and Stormwater Management Plan prepared by Schaeffers Consulting Engineers, dated November 22, 2024;
- An Erosion and Sediment Control Plan prepared by Schaeffers Consulting Engineers, dated November 22, 2024;
- A Grading and Site Servicing Plan prepared by Schaeffers Consulting Engineers, dated November 22, 2024;
- An Environmental Impact Statement prepared by Palmer, dated November 1, 2024;
- A Phase I & II Environmental Site Assessment prepared by Palmer, dated November 1, 2024;
- A Hydrogeological Report prepared by Palmer, dated November 1, 2024;
- A Geotechnical Report prepared by Palmer, dated November 1, 2024;
- A Preliminary Sewage System Design and Grading Plan prepared by Gunnell Engineering, dated October 23, 2024;

- A Land Use Compatibility Report and Peer Review Memo prepared by SONAIR Environmental, dated October 28, 2024;
- A Traffic Impact Study prepared by C.F. Crozier & Associates Inc., dated December 2022;
- A Stage 1-2 Archaeological Assessment prepared by Archeoworks Inc., dated August 2021;
- A Tree Inventory/Preservation Plan and Report prepared by Kuntz Forestry Consulting Inc., dated July 2021 (Revised November 2022);
- A Concept Landscape Plan prepared by Landscape Planning Limited, dated November 21, 2024; and
- An Agricultural Impact Assessment and Peer Review Response Memo, prepared by Clark Consulting Services, dated January 2024.

The above documents have been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Provincial Planning Policies

The subject land is located within the Prime Agricultural Area within the Province's mapping and is also located within the Protected Countryside and Natural Heritage System of the Greenbelt Plan. In accordance with Section 3.1 of the Greenbelt Plan, the agricultural land base is comprised of prime agricultural areas, including specialty crop areas, and rural lands.

Non-agricultural uses may be permitted in prime agricultural areas subject to the policies of sections 4.1 of the Greenbelt Plan. These uses are generally discouraged in prime agricultural areas and may only be permitted after the completion of an agricultural impact assessment.

In accordance with S 3.1.4 of the Greenbelt Plan, the land is also identified as being rural in nature. Rural lands support and provide the primary locations for a range of recreational, tourism, institutional (including cemetery) and may also support resource based commercial/ industrial uses.

4.2. Whitby Official Plan

Envision Durham Official Plan

The subject land is located within the following land use designations of the Envision Durham Official Plan :

- Major Open Space (Map 1 – refer to Attachment 4);

- Regional Natural Heritage System (Map 2 – refer to Attachment 5); and,
- Secondary – Sand and Gravel Resource Area (Map 4 – refer to Attachment 6).

The predominant use of land within the Major Open Space Area designation is environmental protection and conservation, while also allowing for a range of agricultural uses, agriculture-related uses, on-farm diversified uses, and recreational uses, where appropriate. Consideration may be given to non-agricultural uses within Major Open Space Areas, subject to meeting criteria noted within Section 7.1.9 and Section 7.1.11 of the Envision Durham Official Plan.

In addition to the above, Section 6.7 of Envision Durham encourages mineral aggregate resource conservation, including through the use of accessory aggregate recycling facilities, where feasible.

Town of Whitby Official Plan

With regards to the Town of Whitby Official Plan, the subject land is located within the following land use designations:

- Greenbelt Protected Countryside (Map 1 – Urban Structure – refer to Attachment 7);
- Major Open Space (Schedule A – Land Use – refer to Attachment 8);
- Greenbelt Natural Heritage System (Schedule C – Environmental Management – refer to Attachment 9);
- Former Lake Iroquois Beach (Schedule C – refer to Attachment 9);
- High Potential Aggregate Resource Area (Appendix 1 – Technical Mapping of Environmental Elements I – refer to Attachment 10); and,
- Significant Groundwater Recharge Area (Appendix 2 – Water Resources – refer to Attachment 11).

In accordance with Section 4.12.2.13 of the Town of Whitby Official Plan, aggregate-related industrial uses such as ready- mix concrete plants, aggregate transfer stations, and other similar uses shall require an amendment to the Official Plan and the Zoning By-law.

Applications for aggregate-related industrial uses shall be accompanied by the necessary studies and assessments identified in Section 6.7 of the Envision Durham Official Plan. In particular, consideration shall be given to the adequacy and suitability of access to appropriate roads, including the impact of the resulting truck traffic upon the public road network. Such uses shall be adequately buffered through setbacks, screening, and landscaping to protect adjacent land uses and shall meet the industrial pollution control and other applicable standards of the Ministry of the Environment, Conservation and Parks.

An Official Plan Amendment (Envision Durham and Town of Whitby Official Plan) is required to permit the proposed use on the subject land.

4.3. Zoning By-law

The subject land is zoned Agricultural (A) within the Town of Whitby Zoning By-law 1784, which permits a variety of agricultural and agricultural related uses, but does not permit a batching plant, a masonry recycling transfer station and accessory soil and gravel depot on the subject land. (refer to Attachment 12).

A Zoning By-law Amendment is required to rezone the subject land to an appropriate zone category to implement the proposed use.

4.4. Future Application

If approved, a future Site Plan application will be required to consider the site details and implement the proposed development.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected along the Coronation Road frontage of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the applications and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

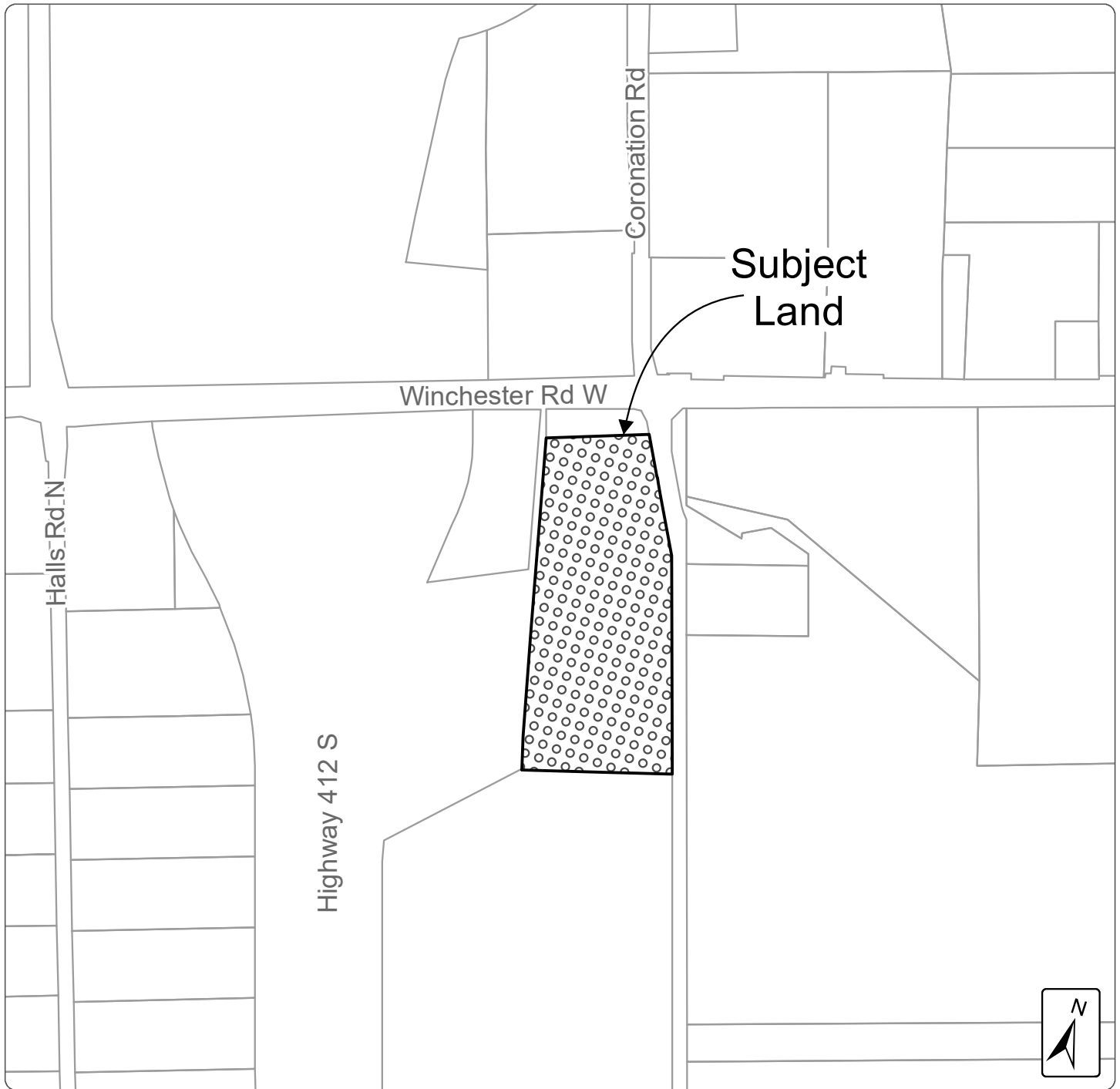
All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the applications will be considered.

8. Attachments:

- Attachment #1 Location Sketch
- Attachment #2 Aerial Context Map
- Attachment #3 Proponent's Proposed Concept Plan
- Attachment #4 Excerpt from Envision Durham Official Plan Map '1' – Regional Structure
- Attachment #5 Excerpt from Envision Durham Official Plan Map '2' – Greenland System
- Attachment #6 Excerpt from Envision Durham Official Plan Map '4' – Aggregate Resources
- Attachment #7 Excerpt from Town of Whitby Official Plan Map '1' – Municipal Structure
- Attachment #8 Excerpt from Town of Whitby Official Plan Schedule 'A' – Land Use
- Attachment #9 Excerpt from Town of Whitby Official Plan Schedule 'C' – Environmental Management
- Attachment #10 Excerpt from Town of Whitby Official Plan Appendix '1' – Technical Mapping of Environmental Elements
- Attachment #11 Excerpt from Town of Whitby Official Plan Appendix '2' – Water Resources
- Attachment #12 Excerpt from Zoning By-law 1784

Attachment #1 Location Sketch

PDP 09-25



Town of Whitby Planning and Development Department

Proponent:
Coronation Properties Inc.

File Number:
DEV-42-24 (OPA-2024-W/11, Z-22-24)

Date:
February 2025

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Attachment #2 Aerial Context Map



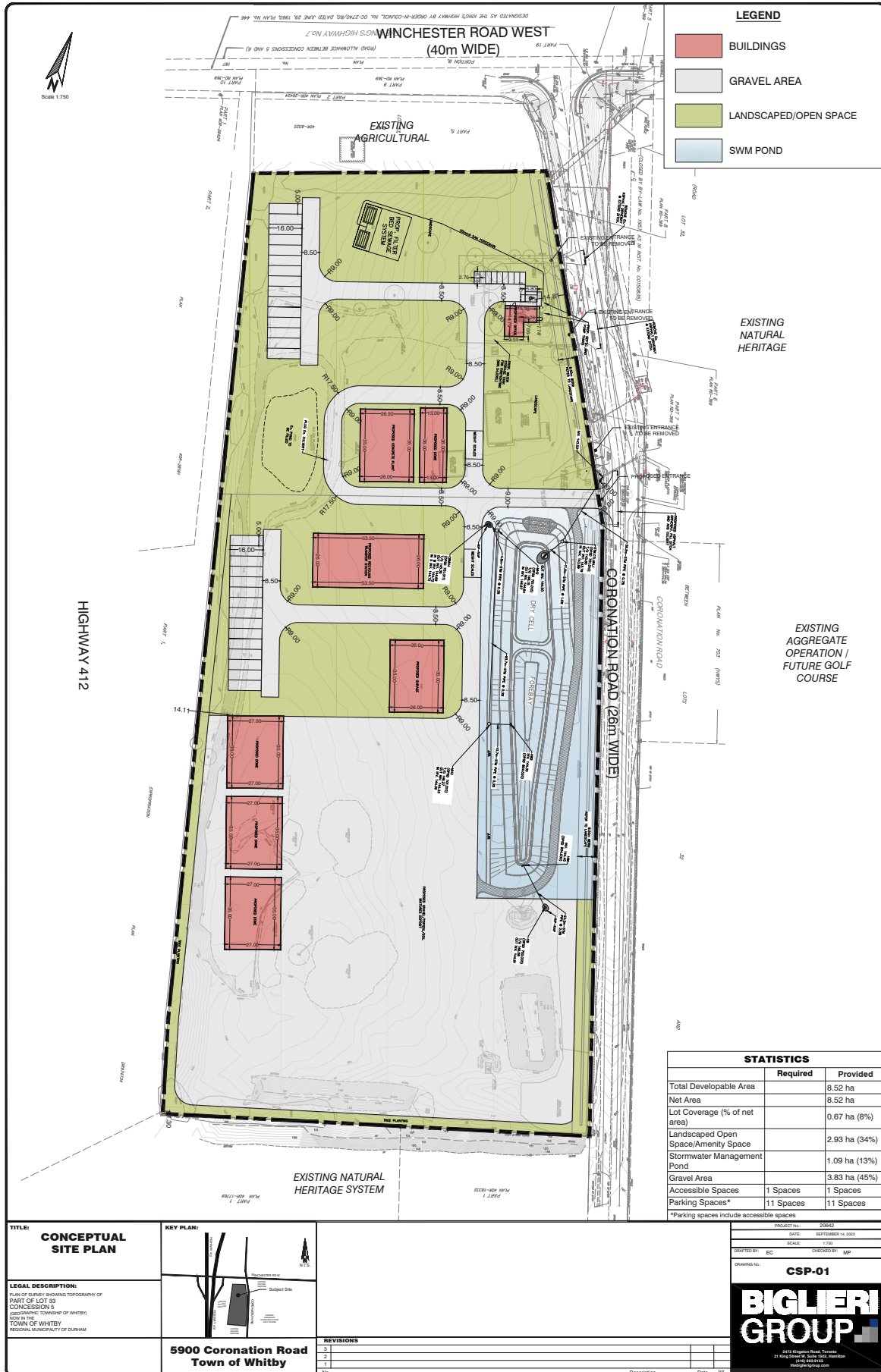
Town of Whitby Planning and Development Department

Proponent: Coronation Properties Inc.	File Number: DEV-42-24 (OPA-2024-W/11, Z-22-24)	Date: February 2025
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External Data Sources:
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Proponent's Proposed Concept Plan



LEGEND

- BUILDINGS
- GRAVEL AREA
- LANDSCAPED/OPEN SPACE
- SWM POND

STATISTICS

	Required	Provided
Total Developable Area		8.52 ha
Net Area		8.52 ha
Lot Coverage (% of net area)		0.67 ha (8%)
Landscaped Open Space/Amenity Space		2.93 ha (34%)
Stormwater Management Pond		1.09 ha (13%)
Gravel Area		3.83 ha (45%)
Accessible Spaces	1 Spaces	1 Spaces
Parking Spaces*	11 Spaces	11 Spaces

*Parking spaces include accessible spaces

TITLE: CONCEPTUAL SITE PLAN

LEGAL DESCRIPTION:
 PLAN OF SURVEY SHOWING TOPOGRAPHY OF PART OF LOTS 33 CONCESSION 5 (LOCALITY: TOWNSHIP OF WHITBY) AND IN THE TOWN OF WHITBY REGIONAL MUNICIPALITY OF DURHAM

KEY PLAN:

**5900 Coronation Road
Town of Whitby**

REVISIONS

No.	Description	Date	By

PROJECT NO.: 20562
 DATE: SEPTEMBER 14, 2022
 SCALE: N/A
 DRAWN BY: EC
 CHECKED BY: LJP
CSP-01

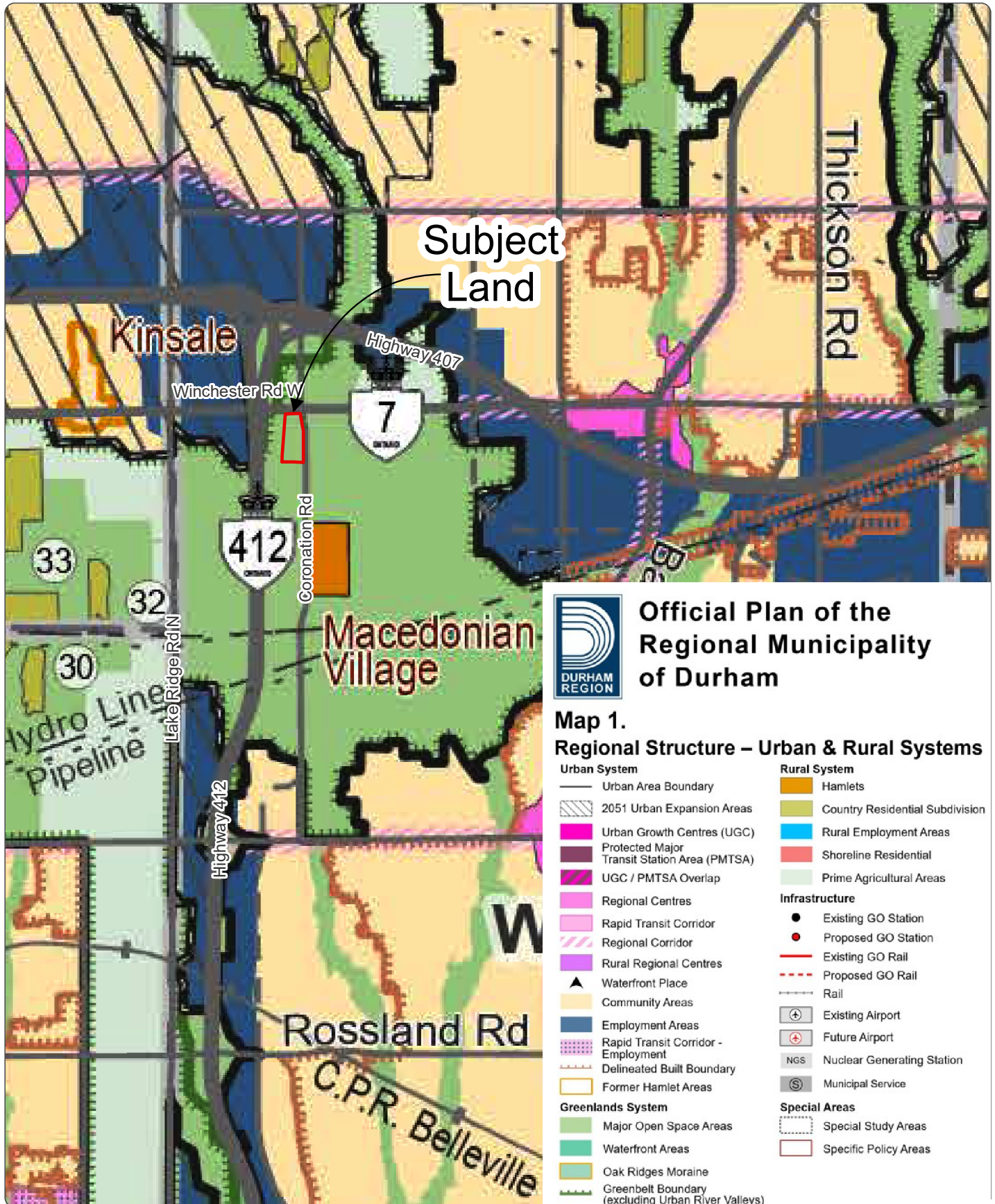
BIGLIERI GROUP

4473 Kingston Road, Toronto
 21 King Street West, Suite 1002, Hamilton
 416-291-8888
 www.biglieri.com

Attachment #4

Excerpt from Envision Durham Official Plan

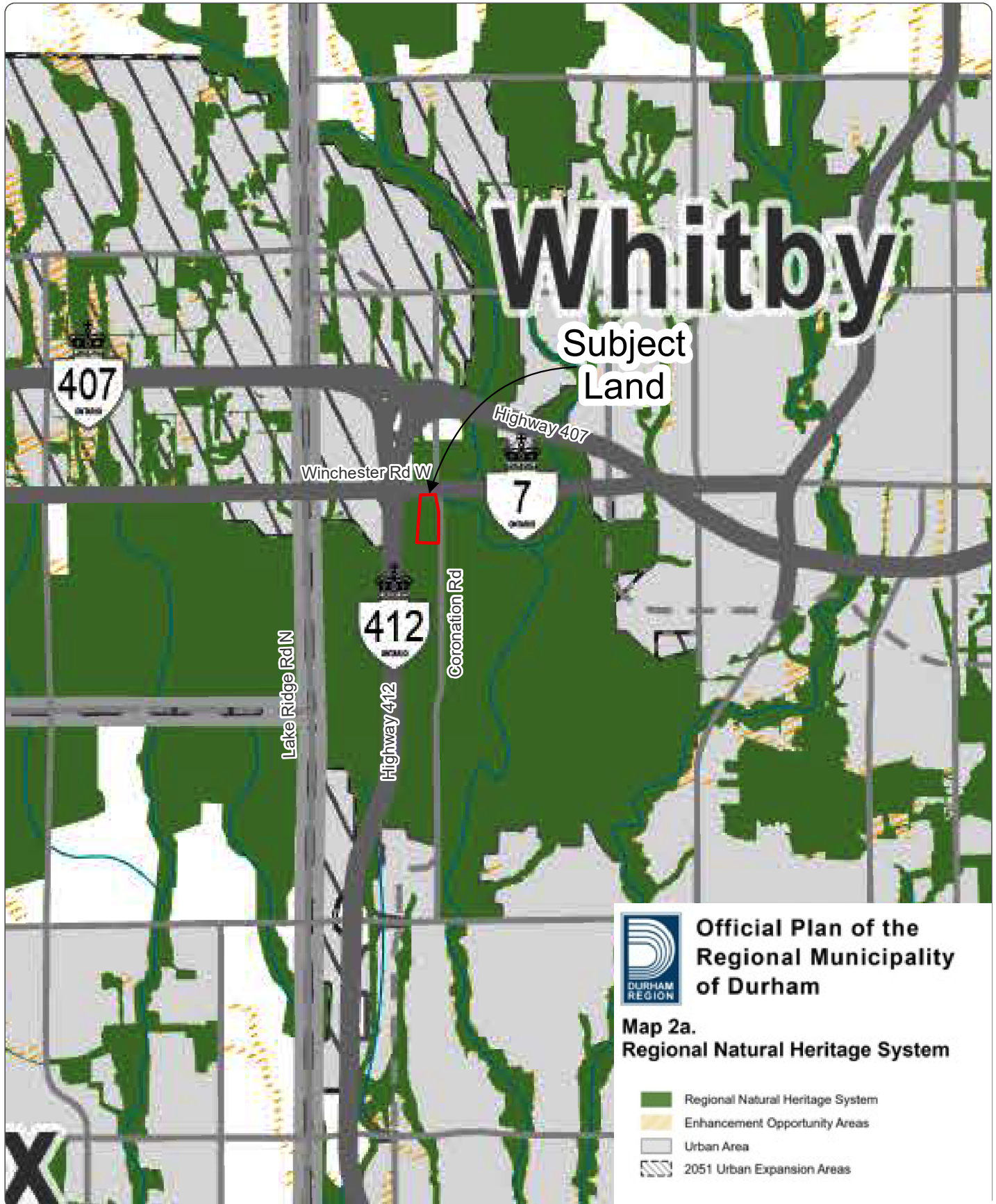
Map '1' – Regional Structure



Attachment #5

Excerpt from Envision Durham Official Plan

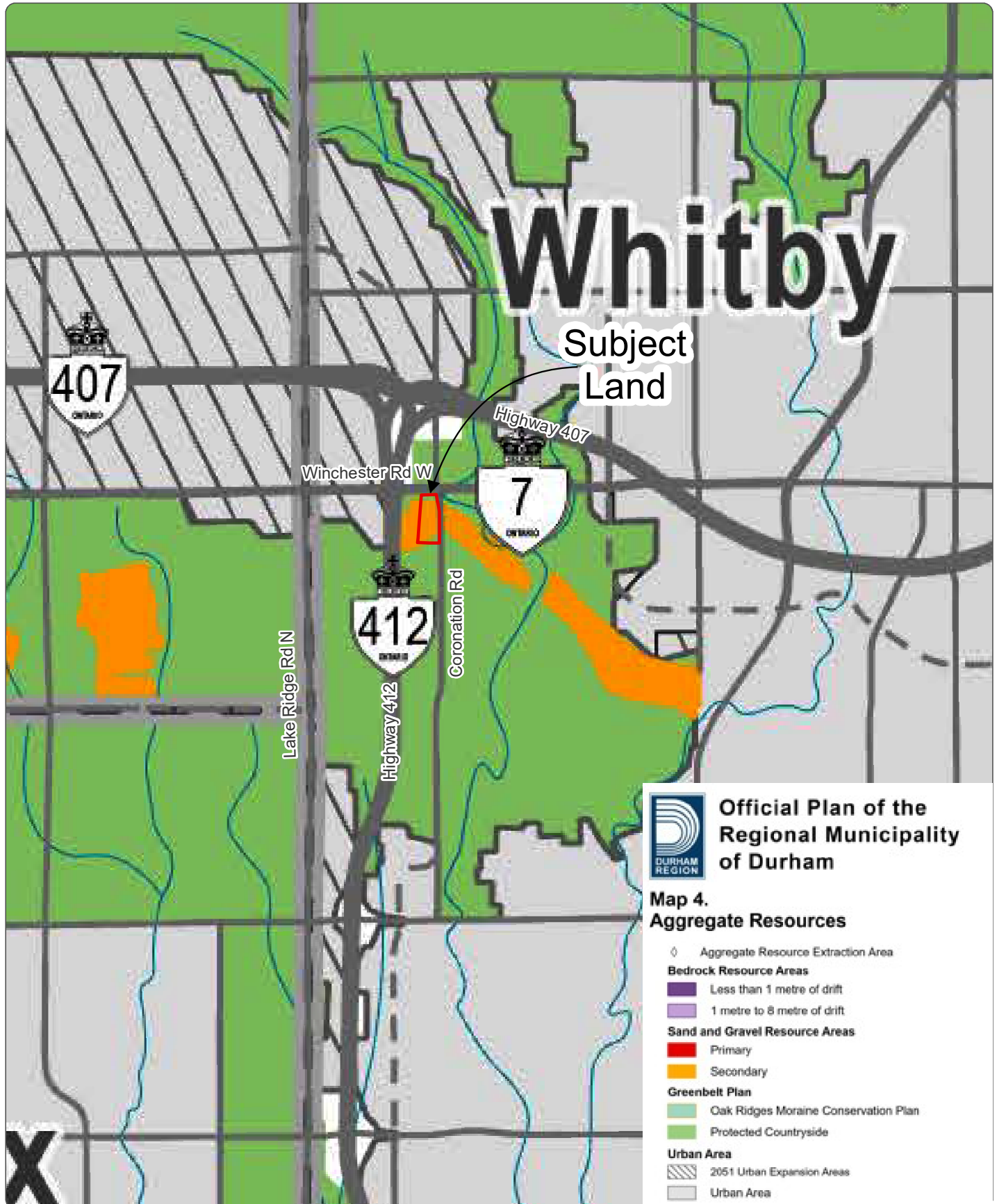
Map '2' – Greenland System



Attachment #6

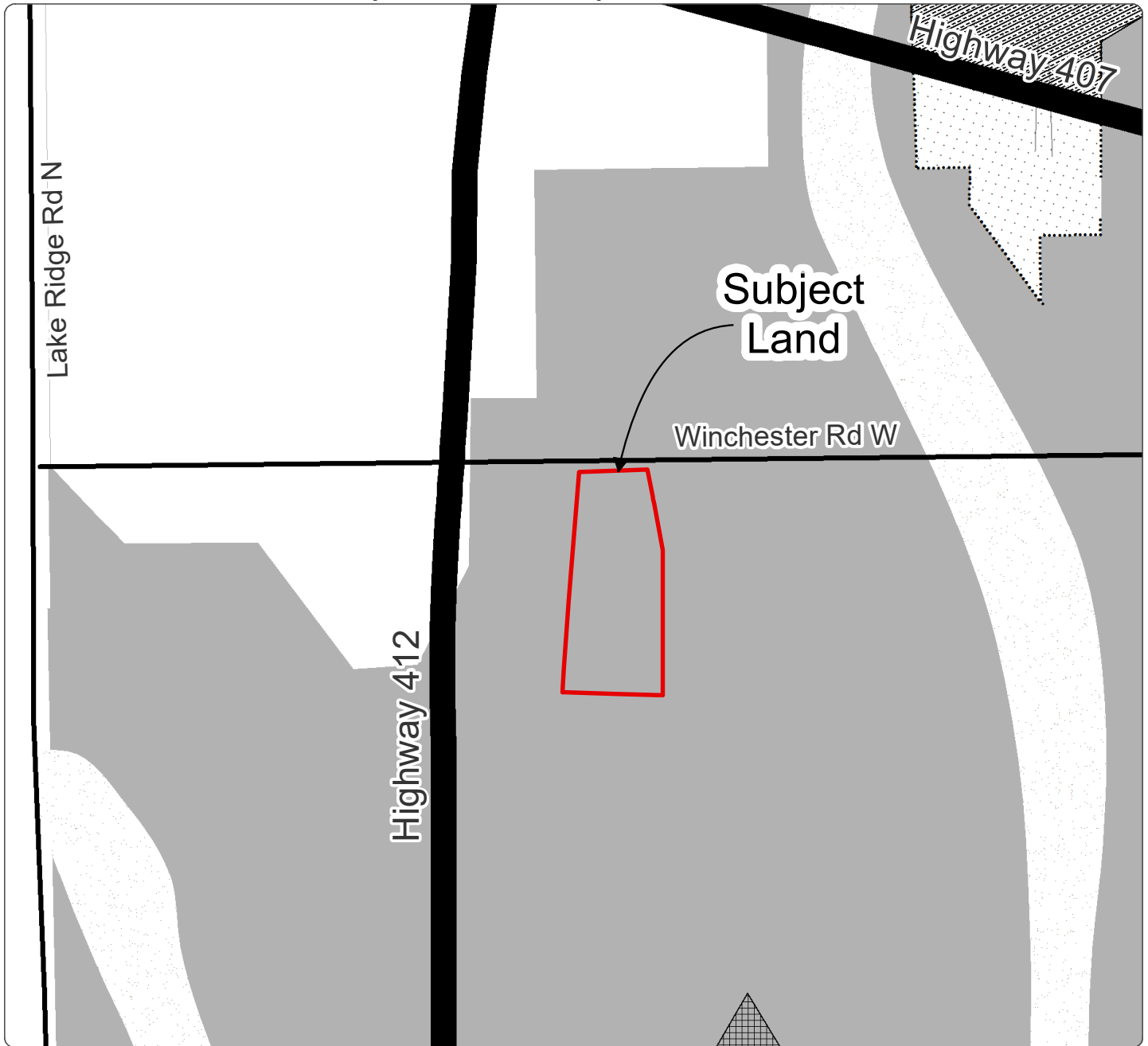
Excerpt from Envision Durham Official Plan

Map '4' – Aggregate Resource



Attachment #7
 Excerpt from Town of Whitby Official Plan
 Map '1' – Municipal Structure

PDP 09-25



Legend

D1 Deferred by the Region of Durham	Agricultural
Gateways	Greenbelt Protected Countryside
Hamlets / Settlements	Intensification Corridor
Major Transit Station	Lands Subject to Durham Regional Official Plan Policy 14.13.7
Major Central Area / Intensification Area	Oak Ridges Moraine
Urban Central Area / Intensification Area	Open Space / Linkages / Conservation
Waterfront Place / Intensification Area	Urban Area
2031 Urban Area Boundary	

Official Plan - Town of Whitby Map

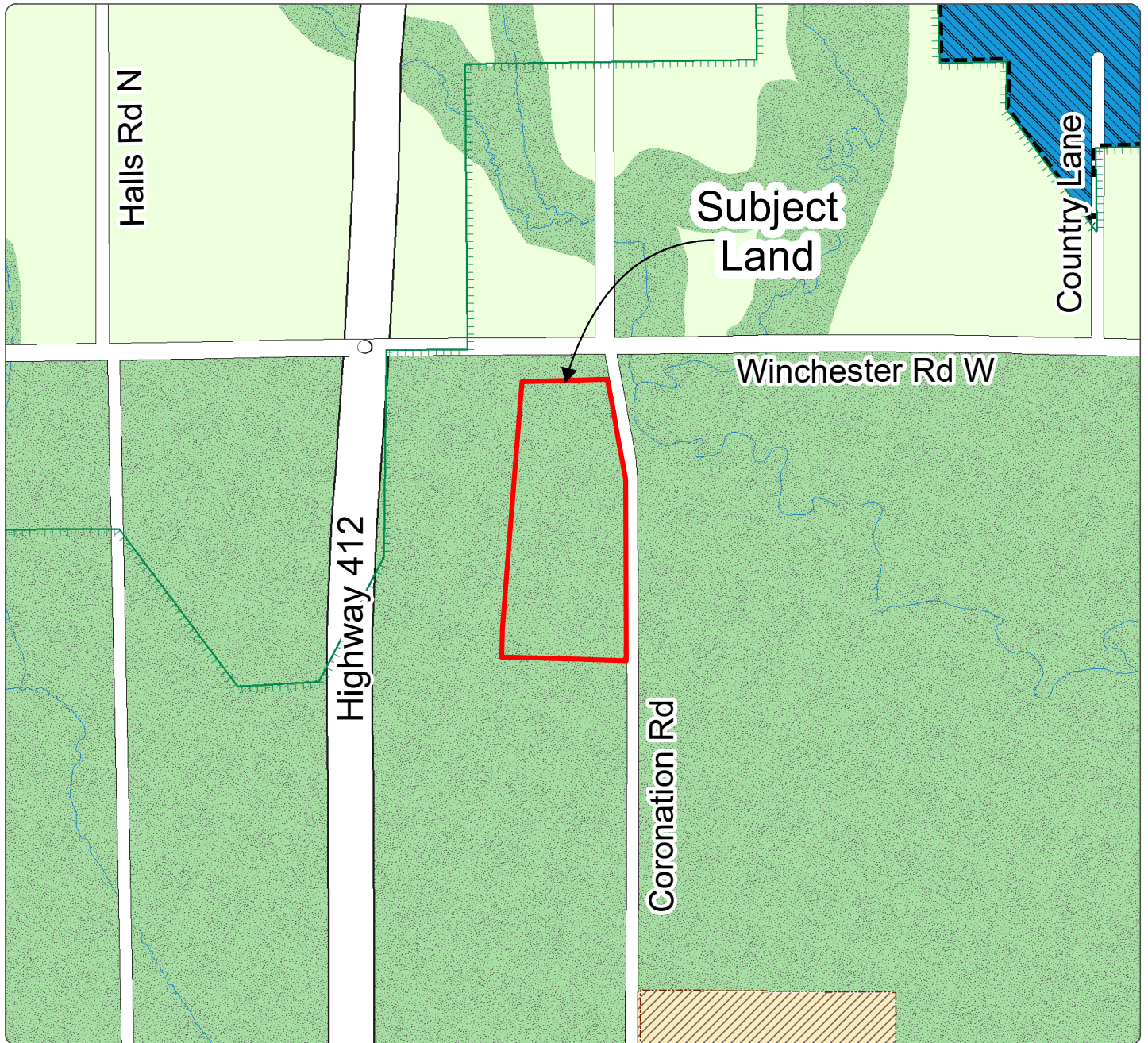
Excerpt from Map '1'

1

0 125 250
Meters

This map forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this map are to be considered conceptual.

Excerpt from Town of Whitby Official Plan
Schedule 'A' – Land Use



Legend

Residential	Lands Subject to Durham Regional Official Plan Policy 14.13.7	D3 (Deferred by Region of Durham)
Major Commercial	Deferred by the Region of Durham	
Community Commercial	Local Central Area	
Special Purpose Commercial	Resource Extraction Area (See Section 4.12)	
Mixed Use	Utility	
Prestige Industrial	2031 Urban Area Boundary	
General Industrial	Community Central Area Boundary	
Special Activity Node	Future Urban Development Area Boundary	
Institutional	Greenbelt Protected Countryside Boundary	
Major Open Space	Hamlet Boundary	
Agricultural	Major Central Area Boundary	
Hamlet	Municipal Boundary	
Estate Residential	Southern Boundary of Oak Ridges Moraine	
Special Policy Area	Urban Central Area Boundary	
Refer to section 11.5.31.6		

Notes: Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

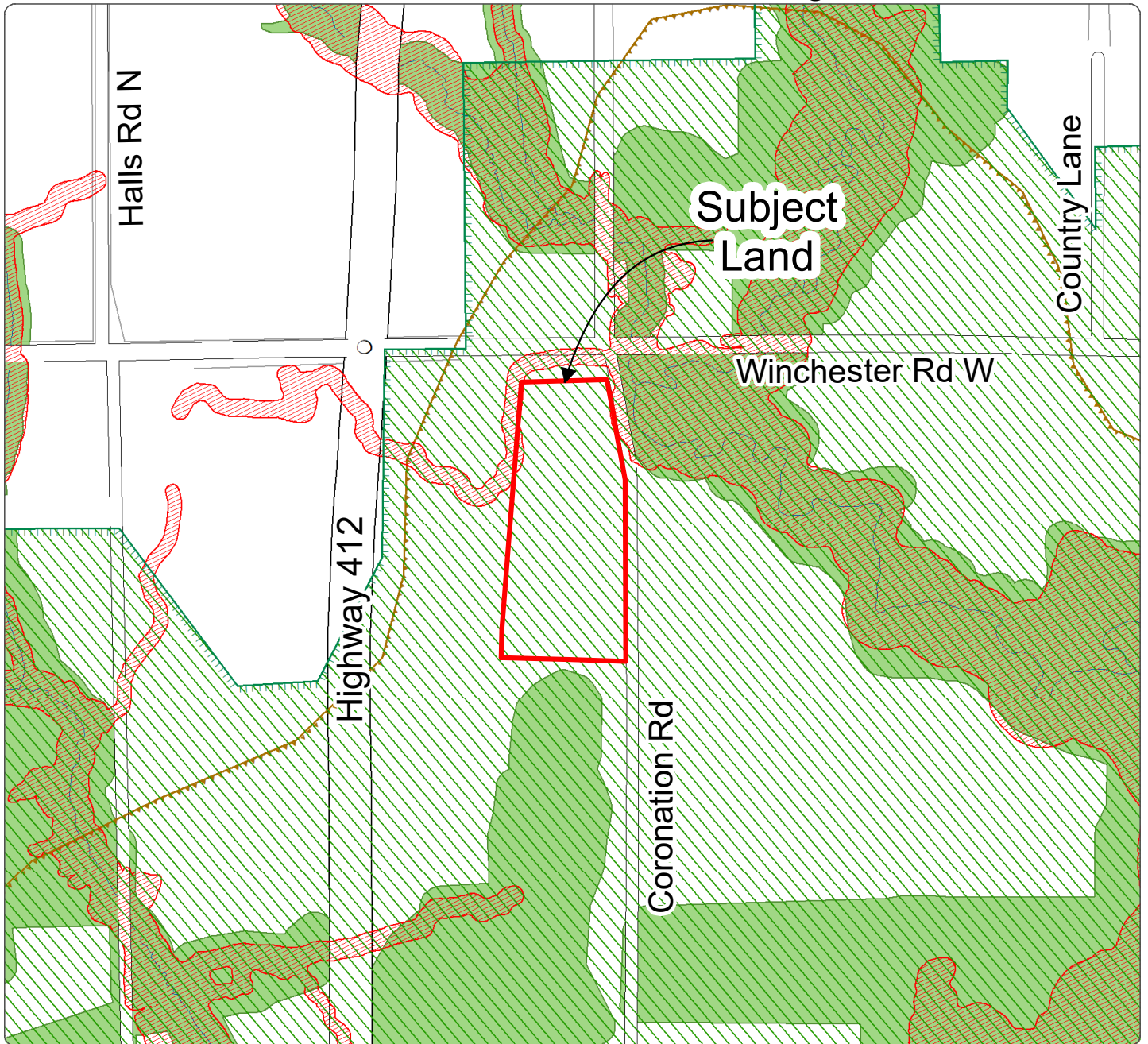
Official Plan - Town of Whitby

Excerpt from Schedule 'A' Land Use

Schedule **A**

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Excerpt from Town of Whitby Official Plan
Schedule 'C' – Environmental Management



Legend

- ▲ Former Waste Disposal Site
- D12 (Deferred by Region of Durham)
- 1 km Lake Ontario Shoreline Limit
- Green hatched area Greenbelt Protected Countryside Boundary
- Black hatched area Municipal Boundary
- Blue hatched area Southern Boundary of Oak Ridges Moraine
- Orange hatched area Former Lake Iroquois Beach
- Light green hatched area Natural Heritage System
- Dark green hatched area Greenbelt Natural Heritage System
- Red hatched area Natural Hazards

Note: Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby

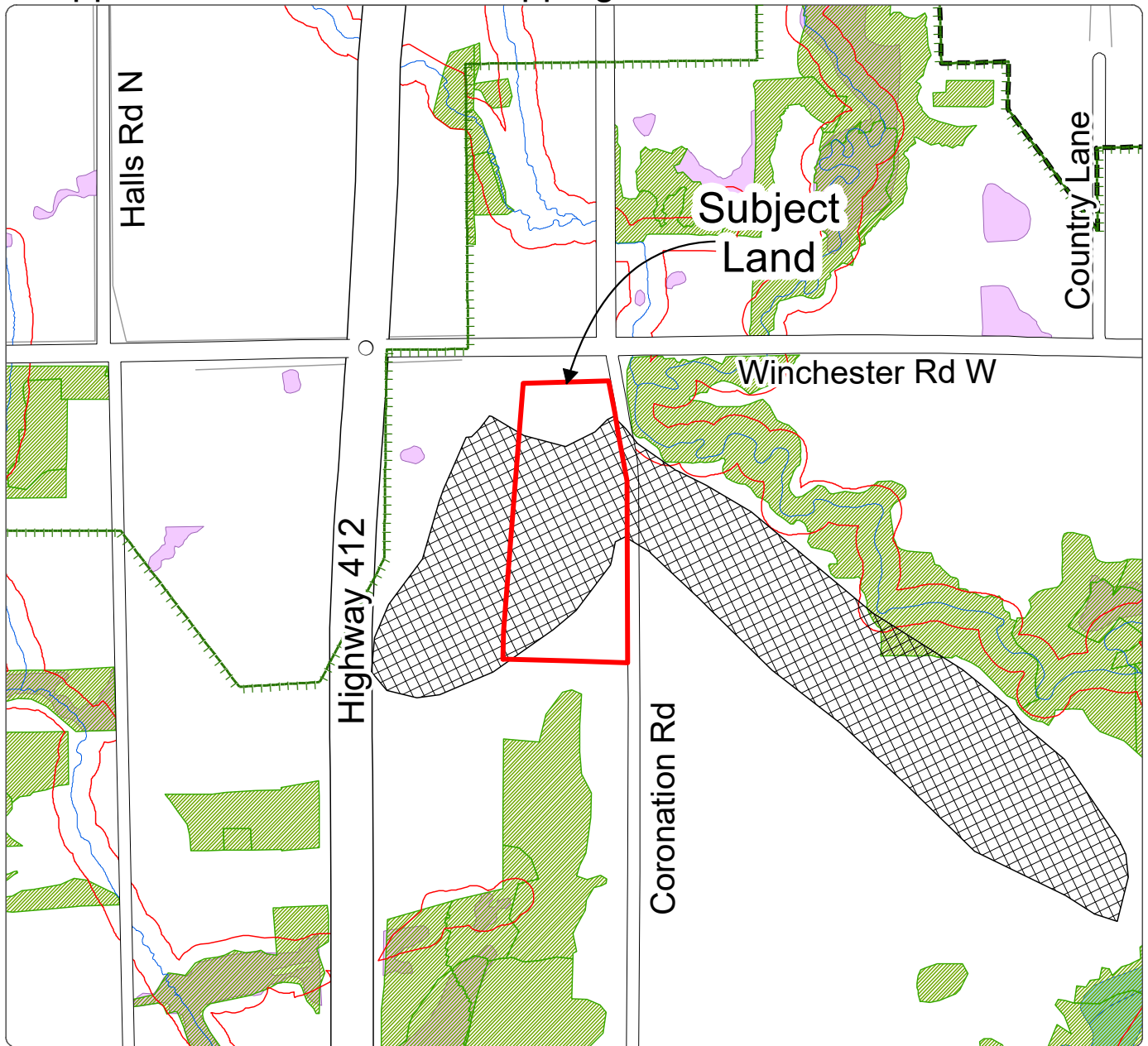
Schedule

C

**Excerpt from
Schedule 'C'
Environmental
Management**

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Excerpt from Town of Whitby Official Plan
 Appendix '1' – Technical Mapping of Environmental Elements



Legend

- 2031 Urban Area Boundary
- Greenbelt Protected Countryside Boundary
- Municipal Boundary
- Southern Boundary of Oak Ridges Moraine
- Watercourse
- Riparian Corridors
- Areas of Natural and Scientific Interest (ANSI) (LIO, 2016)
- High Potential Aggregate Resource Area (MNR, 2015)
- Sand and Gravel Resources - Secondary Significance
- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Provincially Significant Wetland (LIO, 2024)
- Wetland (Evaluated as Other / Not Evaluated) (LIO, 2024)
- Woodlands

Note: Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby

Appendix

Excerpt From Appendix '1'

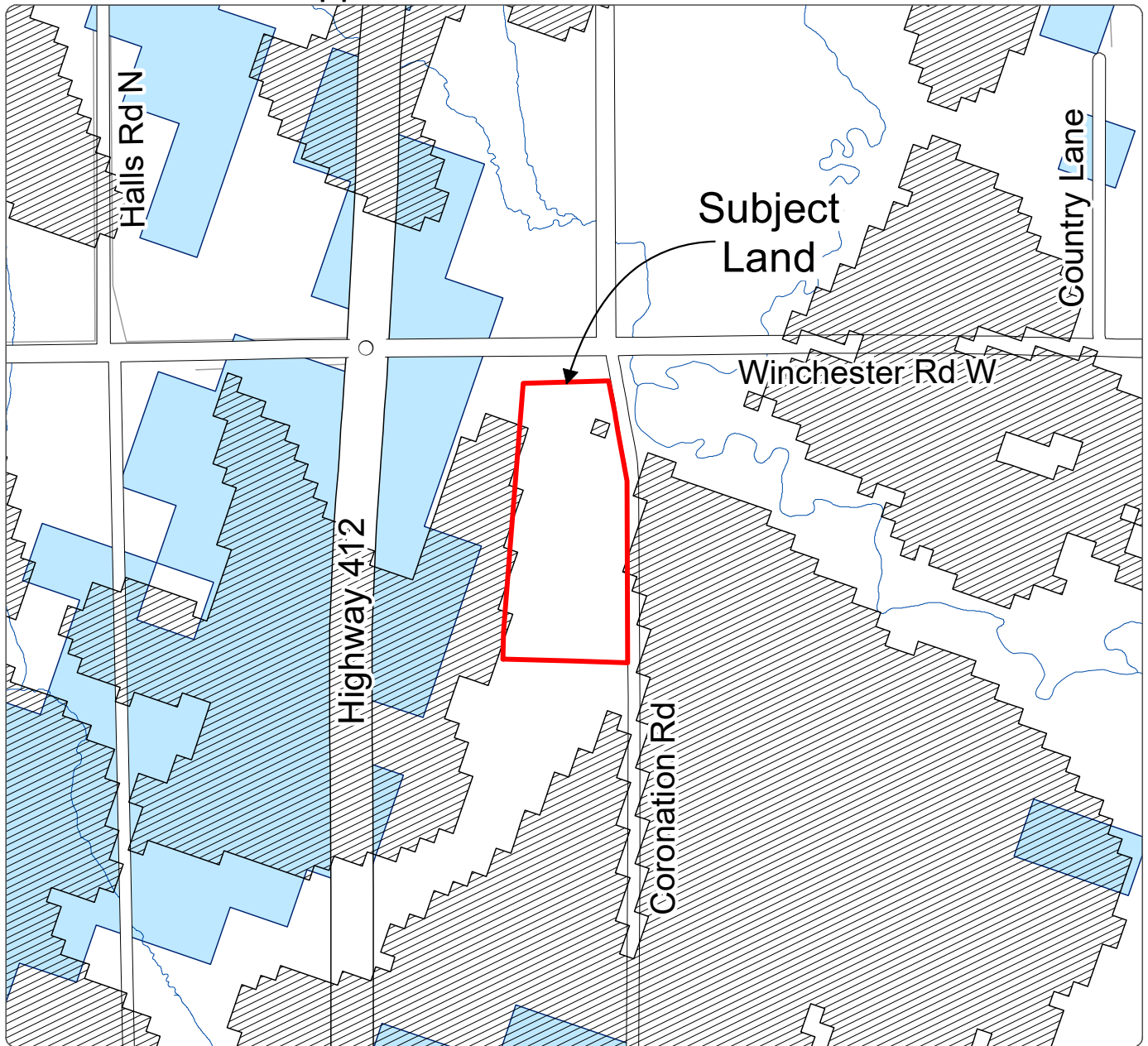
Technical Mapping of Environmental Elements

1

Whitby

This appendix does not form part of the Statutory Official Plan. The information contained herein may be updated without amendment when new information is available.

Excerpt from Town of Whitby Official Plan
Appendix '2' – Water Resources



Legend

- ■ ■ Municipal Boundary
- Highly Vulnerable Aquifers (CLOCA, 2016)
- ▨ Significant Groundwater Recharge Areas (CLOCA, 2016)

Note: Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby Appendix

**Excerpt From
Appendix '2'
Water Resources**

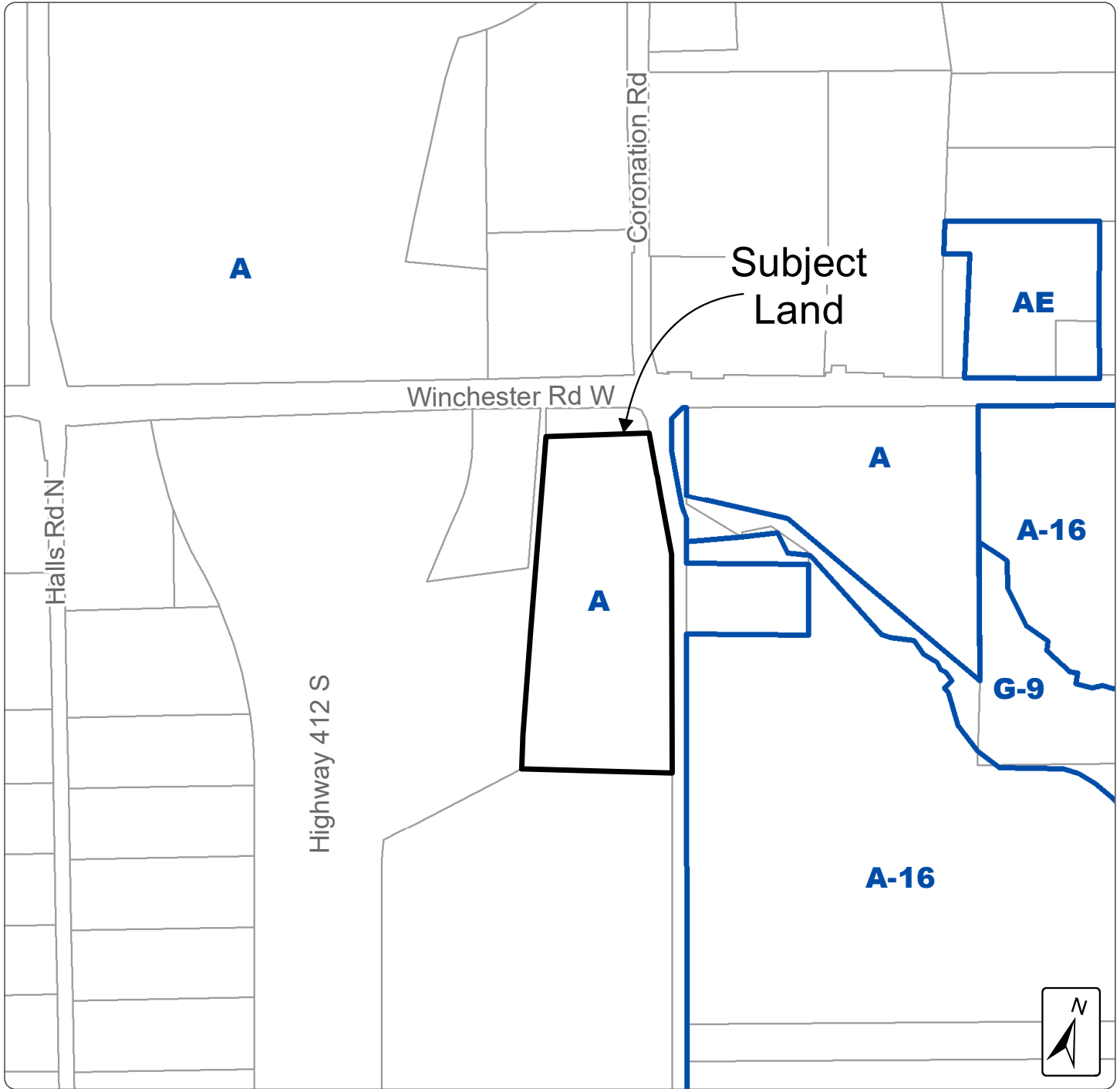
2

0 150 300
Metres

This appendix does not form part of the Statutory Official Plan. The information contained herein may be updated without amendment when new information is available.

Attachment #12 Excerpt from Zoning By-Law 1784

PDP 09-25



Town of Whitby Planning and Development Department

Proponent: Coronation Properties Inc.	File Number: DEV-42-24 (OPA-2024-W/11, Z-22-24)	Date: January 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-03-25: Zoning By-law Amendment Application, Paul Demczak c/o 2490987 Ontario Inc., 1399 Dundas Street East, File No. Z-02-25

Date of meeting: February 10, 2025

Report Number: PDP 10-25

Department(s) Responsible:

Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning
and Development

**Acknowledged by M. Gaskell, Chief
Administrative Officer**

For additional information, contact:

J. Taylor, Director of Planning, 905-444-
2908

M. Wianecki, Planner II, 905-444-3932

Planning Report PDP 10-25 is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13

Anyone who attends the public meeting may present an oral submission, and/or provide a written submission to the Planning and Development Department on the proposed application. Also, any person may make written submissions at any time before Council makes a decision.

Additional information regarding statutory public meetings under the Planning Act can be found on the [Town's website](#).

If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

- A temporary use Zoning By-law Amendment Application has been submitted by Paul Demczak c/o 2490987 Ontario Inc. for 1399 Dundas Street East.
- The temporary use Zoning By-law Amendment proposes to permit a temporary automotive sales office and associated parking lot on the subject property for a maximum of three years.

2. Purpose:

The Planning and Development Department is in receipt of an application for a temporary use Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the south side of Dundas Street East, east of Hopkins Street (refer to Attachment #1). The subject land is municipally known as 1399 Dundas Street East. The subject land is approximately 0.78 hectares (1.93 acres) in size.

The subject land is currently vacant. The land uses to the north, east, and west include retail and commercial uses, while land uses to the south include residential uses (refer to Attachment #2). The subject property was used as an automobile sales establishment until 2021. In 2007, the by-law on the subject property and adjacent properties was amended to recognize existing automotive dealerships, however, once the automotive use ceased to exist, the permissions for automobile sales were lost on the property as of right.

3.2. Application and Proposed Development

A temporary use Zoning By-law Amendment Application has been submitted by Paul Demczak c/o 2490987 Ontario Inc., to permit a temporary automotive sales office and associated parking lot on the subject land (refer to Attachment #3).

The temporary use Zoning By-law Amendment Application proposes to permit the proposed temporary use of an automobile sales establishment on the property for a period of three years.

3.3. Documents Submitted in Support

The following documents were submitted in support of the application:

- An Architectural Plans Package, prepared by Micacchi, dated January 2025 (refer to Attachment #3 for proposed site plan); and,
- A Planning Rationale Report, prepared by Batory Planning & Management, dated January 2025.

The above documents have been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1. Whitby Official Plan

The subject property is designated Mixed Use on Schedule A – Land Use of the Town of Whitby’s Official Plan (refer to Attachment #4).

Areas designated as Mixed Use are encouraged to intensify and consolidate over time into mixed-use nodes in accordance with the comprehensive block plan and urban design policies of Section 6.2 (4.6.3.8). An automobile sales establishment is not permitted.

However, as outlined within Section 10.1.9.1, Council may pass a by-law to permit the temporary use of land(s), building(s), or structure(s), for any purpose which is otherwise prohibited by the Zoning By-law, without an amendment to this Plan for a period of up to three years. Upon the expiry of the time period(s) authorized by the Temporary Use By-law, the use of land, buildings, or structures that were permitted under such By-law shall cease to exist and cannot be considered as non-conforming uses.

4.2. Zoning By-law

The subject land is currently zoned Commercial Mixed Use – Exception 10 (CMU*-10) within Zoning By-law No. 1784 (refer to Attachment #5). The Commercial Mixed Use – Exception 10 (CMU*-10) does not permit the proposed use. Therefore, a temporary Zoning By-law Amendment is required to permit the proposed use.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected on the Dundas Street East frontage of the subject land in accordance with the Town’s notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the application and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development application. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the application will be considered.

8. Attachments:

Attachment #1: Location Sketch

Attachment #2: Aerial Context Map

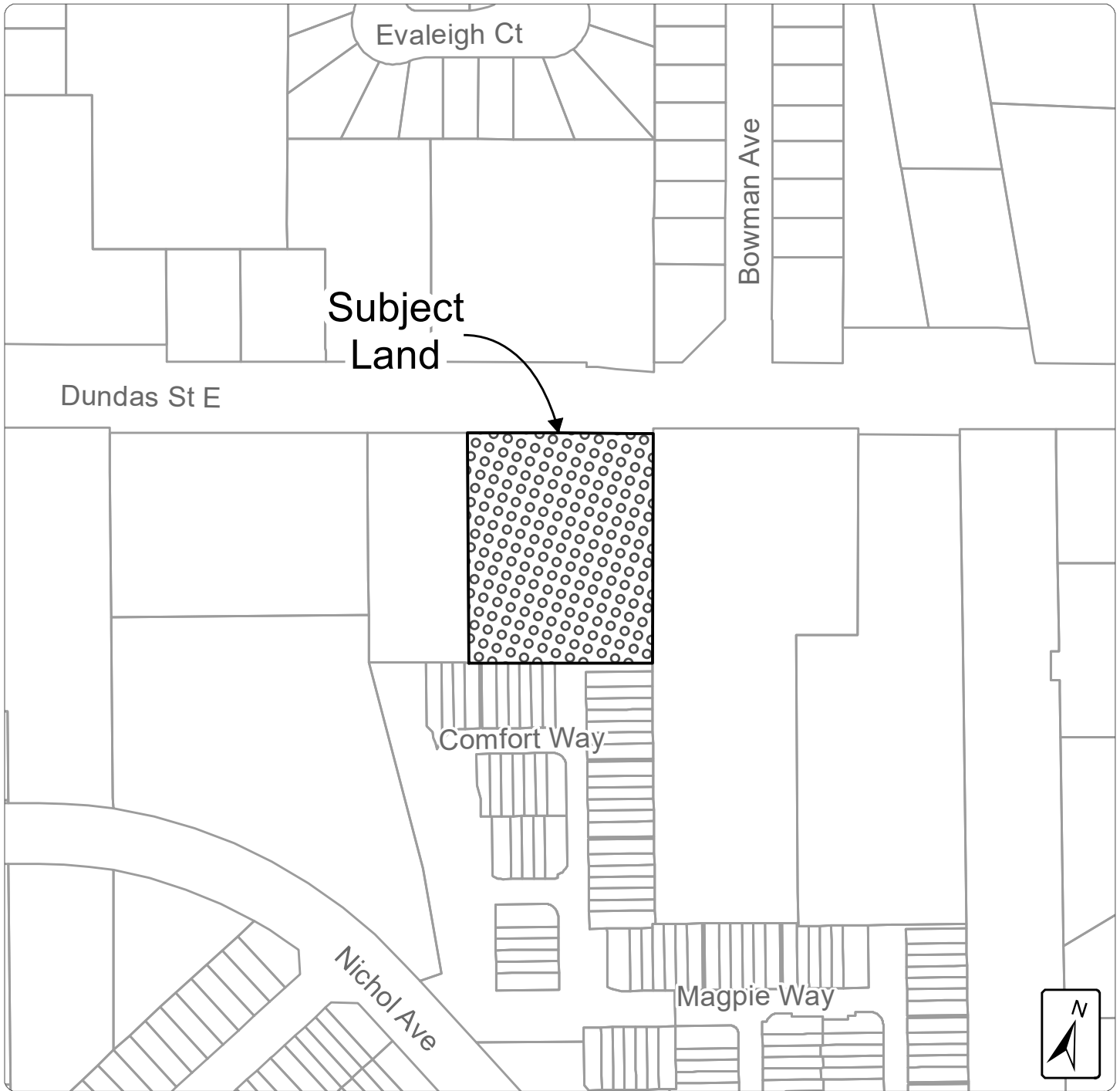
Attachment #3: Proponent's Proposed Site Plan

Attachment #4: Excerpt from the Town of Whitby Official Plan – Schedule A

Attachment #5: Excerpt from Zoning By-law No. 1784

Attachment #1 Location Sketch

PDP 10-25



Town of Whitby Planning and Development Department

Proponent:
Paul Demczak c/o 2490987 Ontario Inc.

File Number:
DEV-03-25 (Z-02-25)

Date:
February 2025

External Data Sources:
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Attachment #2 Aerial Context Map

PDP 10-25



Town of Whitby Planning and Development Department

Proponent:
Paul Demczak c/o 2490987 Ontario Inc.

File Number:
DEV-03-25 (Z-02-25)

Date:
February 2025

External Data Sources:
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Attachment #3 Proponent's Proposed Site Plan

PDP 10-25

Mark	Date	Description
01	2020-11-11	Initial Design
02	NOV 15, 2020	REVISED DESIGN
03	NOV 15, 2020	REVISED DESIGN



MICACCHI

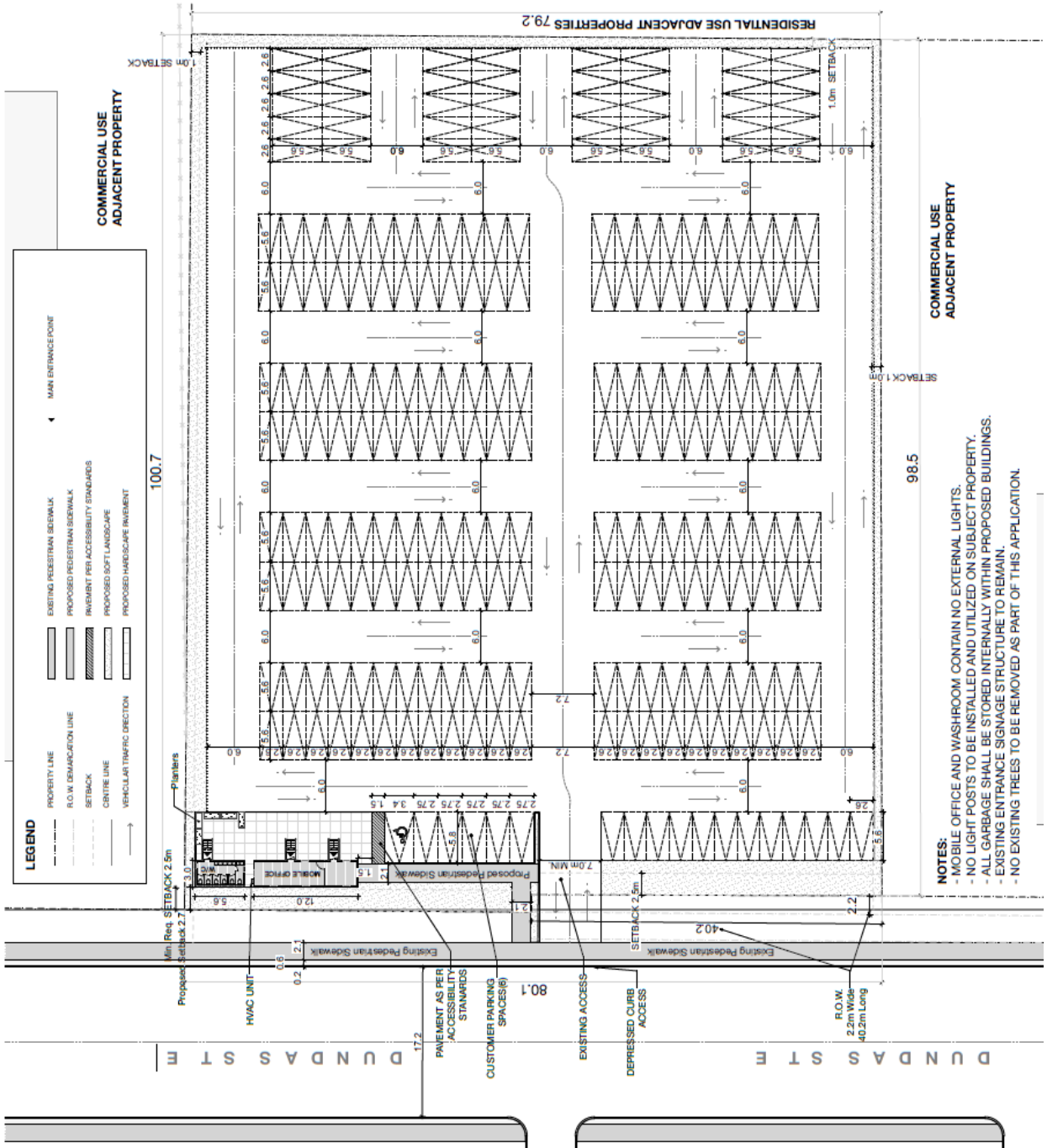
210 - 101 Street, Suite 101, North York, Ontario M2H 3P4
 Phone: (416) 491-1111
 Fax: (416) 491-1112
 Email: info@micacchi.com
 Website: www.micacchi.com

1999 Dundas St. E

Site Plan

Drawn by	with/led
Date	Friday, January 10, 2020
Scale	1:200, 1:1, 20, 1:1, 20
Sheet No.	2400-19

A005



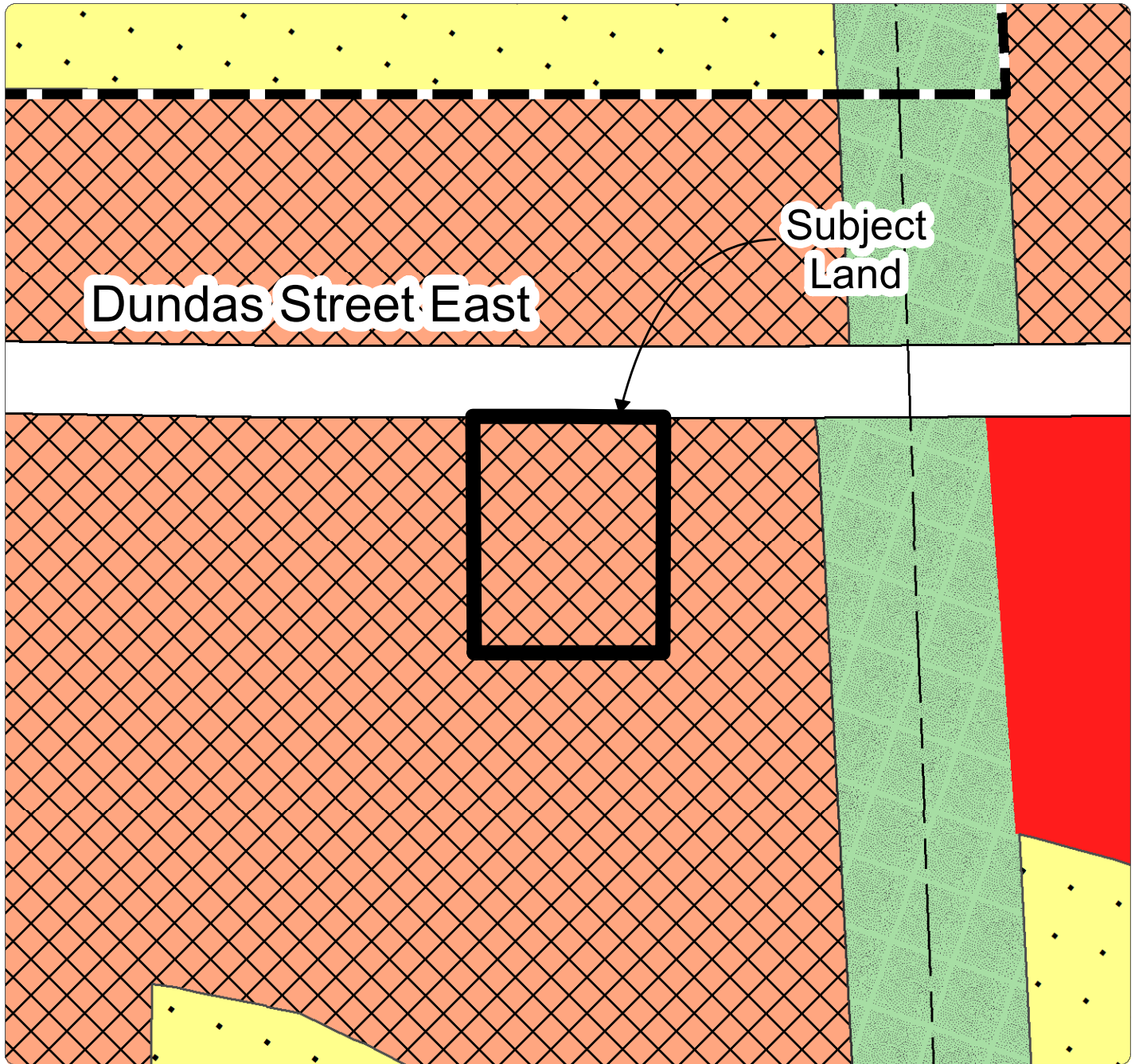
1399 Dundas St E Zoning Details - General

Item	Description	Value
1	Lot Area	7,881 sq ft
2	Lot Coverage	0.88%
3	Proposed Mobile Office and Washroom	53.8 sq ft
4	Proposed Mobile Office and Washroom	0.68%
5	Proposed Landscaped Open Space	775 sq ft
6	Proposed Landscaped Open Space	0.97%
7	Proposed Customer Parking	1
8	Proposed Customer Parking	1
9	Proposed Inventory Parking	240
10	Proposed Inventory Parking	240
11	Proposed Inventory Parking	240
12	Proposed Inventory Parking	240
13	Proposed Inventory Parking	240
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47	Proposed Inventory Parking	240
48	Proposed Inventory Parking	240
49	Proposed Inventory Parking	240
50	Proposed Inventory Parking	240

Zoning Details - Proposed

Item	Description	Value
1	Lot Area	7,881 sq ft
2	Lot Coverage	0.88%
3	Proposed Mobile Office and Washroom	53.8 sq ft
4	Proposed Mobile Office and Washroom	0.68%
5	Proposed Landscaped Open Space	775 sq ft
6	Proposed Landscaped Open Space	0.97%
7	Proposed Customer Parking	1
8	Proposed Customer Parking	1
9	Proposed Inventory Parking	240
10	Proposed Inventory Parking	240
11	Proposed Inventory Parking	240
12	Proposed Inventory Parking	240
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48	Proposed Inventory Parking	240
49	Proposed Inventory Parking	240
50	Proposed Inventory Parking	240

Excerpt from the Town of Whitby Official Plan Schedule 'A'



Legend

	Residential		Lands Subject to Durham Regional Official Plan Policy 14.13.7		D3 (Deferred by Region of Durham)
	Major Commercial		Deferred by the Region of Durham		
	Community Commercial		Local Central Area		
	Special Purpose Commercial		Resource Extraction Area (See Section 4.12)		
	Mixed Use		Utility		
	Prestige Industrial		2031 Urban Area Boundary		
	General Industrial		Community Central Area Boundary		
	Special Activity Node		Future Urban Development Area Boundary		
	Institutional		Greenbelt Protected Countryside Boundary		
	Major Open Space		Hamlet Boundary		
	Agricultural		Major Central Area Boundary		
	Hamlet		Municipal Boundary		
	Estate Residential		Southern Boundary of Oak Ridges Moraine		
	Special Policy Area Refer to section 11.5.31.6		Urban Central Area Boundary		

Notes: Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby

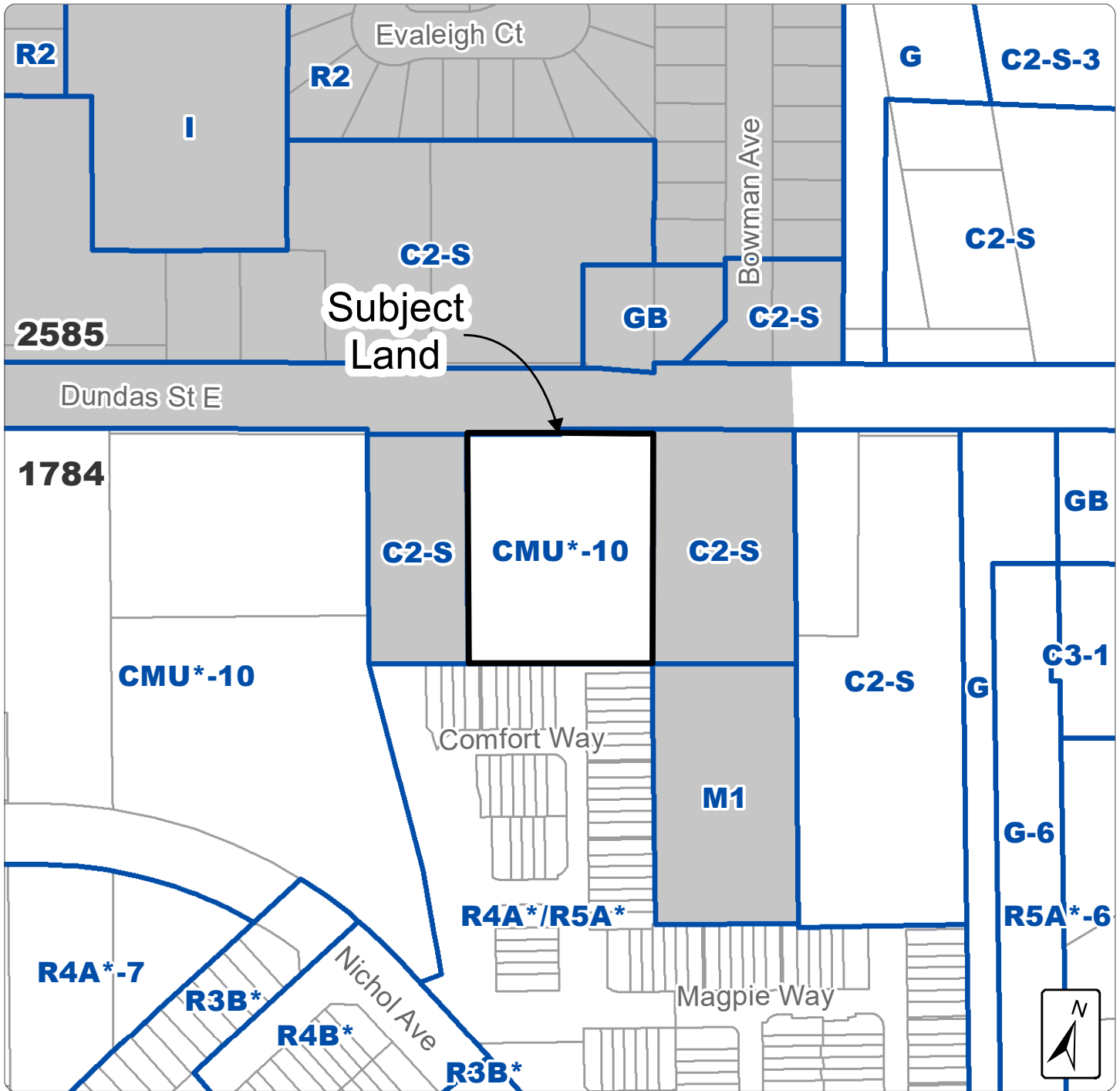
Excerpt from Schedule 'A' Land Use

Schedule **A**

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Attachment #5
Excerpt from Zoning By-Law 1784

PDP 10-25



Whitby Town of Whitby Planning and Development Department

Proponent: Paul Demczak c/o 2490987 Ontario Inc.	File Number: DEV-03-25 (Z-02-25)	Date: February 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-34-24: Zoning By-law Amendment Application, MHBC Planning Limited on behalf of 5515 Garrard Real Estate Inc, 5515 Garrard Road, File No. Z-16-24

Date of meeting: February 10, 2025

Report Number: PDP 11-25

Department(s) Responsible:

Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning
and Development

**Acknowledged by M. Gaskell, Chief
Administrative Officer**

For additional information, contact:

J. Taylor, Director of Planning Services,
905-444-2908

M. Guinto, Planner I, 905-444-1936

Planning Report PDP 11-25 is presented for information purposes only, in accordance with the statutory public meeting requirements of the Planning Act R.S.O. 1990, c.P.13

Anyone who attends the public meeting may present an oral submission, and/or provide a written submission to the Planning and Development Department on the proposed application. Also, any person may make written submissions at any time before Council makes a decision.

Additional information regarding statutory public meetings under the Planning Act can be found on the [Town's website](#).

If a specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision of Whitby Council to the Ontario Land Tribunal (OLT) and may not be added as a party to the hearing of an appeal before the OLT unless, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

1. Highlights:

- A Zoning By-law Amendment Application has been submitted by MHBC Planning Limited on behalf of 5515 Garrard Real Estate Inc for the land municipally known as 5515 Garrard Road.
- The Zoning By-law Amendment Application proposes to change the current zoning from Agricultural (A) Zone to an appropriate industrial zone category to permit the proposed development of two industrial warehouse buildings with a total gross floor area of 48,742 square metres.

2. Purpose:

The Planning and Development Department is in receipt of an application for a Zoning By-law Amendment for the subject land. The purpose of this report is to present information related to the application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1 Site and Area Description

The subject land is located on the east side of Garrard Road, south of Highway 407. The subject land is municipally known as 5515 Garrard Road (refer to Attachment #1). The subject land is approximately 16.55 hectares (40.89 acres) in size. Approximately 11.27 hectares (27.84 acres) is proposed to be developed.

The subject land currently contains a 2-storey single-detached dwelling, an outbuilding, and a barn, which are proposed to be removed. The lands to the north, east, and west are vacant, while the lands to the south contain two residential uses fronting Garrard Road. (refer to Attachment #2)

3.2 Application and Proposed Development

A Zoning By-law Amendment Application has been submitted by MHBC Planning Limited on behalf of 5515 Garrard Real Estate Inc to accommodate the future development of two industrial buildings (refer to Attachment #3).

The Zoning By-law Amendment Application proposes to change the current zoning from Agricultural (A) Zone within Zoning By-law No. 1784, to an appropriate industrial zone category to accommodate the proposed future development.

A future Site Plan Application will be required.

3.3 Documents Submitted in Support

The following documents were submitted in support of the application:

- A Boundary and Topographic Survey, prepared by Speight, Van Nostrant & Gibson Limited, dated October 2023.
- A proposed Site Plan prepared by Ware Malcomb, dated October 2024 (refer to Attachment #3).
- A set of Architectural Plans prepared by Ware Malcomb, dated October 2024.
- An Arborist Report, prepared by MHBC Planning Limited, dated October 2024.
- A set of Landscape Plans including a Landscape Cost Estimate prepared by MHB Landscape, dated October 2024 (refer to Attachment #4).
- A set of Building Elevations prepared by Ware Malcomb, dated October 2024 (refer to Attachment #5).
- A set of Archaeological Reports (Stages 1, 2, and 3), prepared by Lincoln Environmental Consulting, dated September 2024.
- A Functional Servicing & Stormwater Management Report including Civil Engineering Drawings, prepared by Crozier & Associates Inc., dated October 2024.
- A Construction Management Report, prepared by Leeswood Construction.
- A Compatibility Mitigation Study, Air Quality Report, prepared by SLR Consulting Ltd., dated October 2024.
- A Documentation & Salvage Report, prepared by MHBC Planning Limited, dated October 2024.
- An Environmental Impact Study, prepared by GHD, dated October 2024.
- A Hydrogeology Assessment, prepared by Pinchin, dated October 2024.
- An Initial Noise Impact Assessment prepared by SLR Consulting Ltd., dated October 2024.
- A Planning Justification Report, prepared by MHBC Planning Limited, dated November 2024.
- A Phase 1 Environmental Site Assessment Report, prepared by Pinchin, dated June 2023.
- A Photometric Site Plan & Exterior Lighting Specifications set, prepared by Inviro Engineered Systems, dated October 2024.
- A Transportation Impact Study prepared by Crozier & Associates Inc., dated October 2024.

- A Tree Inventory, Protection & Removals Plans, prepared by MHBC.

The above documents have been distributed to relevant internal departments and external agencies for review and comment.

4. Discussion:

4.1 Whitby Official Plan

The subject land is designated “Prestige Industrial”, “General Industrial”, and “Natural Heritage System” on Schedule ‘J’ – Brooklin Community Secondary Plan (refer to Attachment #6).

Prestige Industrial

Prestige Industrial areas shall generally include light industrial uses within enclosed buildings, professional, corporate, and industrial oriented office buildings, major office uses within Business Parks, data processing centres, commercial or technical schools, postsecondary education facilities, research and development facilities, and incidental sales outlets within industrial buildings, provided such floor space is identified in the Zoning By-law and is compatible with adjacent land uses (4.7.3.2.2).

Warehousing and wholesale distribution uses may be permitted on lands designated as Prestige Industrial, with the exception of Business Parks, subject to the following criteria:

- a) located in proximity to Highway 401, 407 or 412;
- b) separated from residential areas;
- c) does not create additional traffic through residential areas; and
- d) wholly enclosed in buildings with no outdoor storage.

General Industrial

The predominant use of land designated as General Industrial shall be for the manufacturing, processing, assembly, servicing, storing of goods and raw materials, warehousing, and uses for similar and related purposes such as utility yards and functions, and transportation terminals (4.7.3.1.1).

Natural Heritage System

The Natural Heritage System is comprised of an interconnected system of key natural heritage and hydrologic features (5.3.7.1). The extent and exact location of the component natural heritage and hydrologic features of the Natural Heritage System are to be determined through appropriate environmental studies and in consultation with the local conservation authority (5.3.7.3).

The boundary of the Natural Heritage System may be refined with additions and deletions without an amendment to the Plan (11.4.25.3).

4.2 Zoning By-law

The subject land is currently zoned Agricultural (A) Zone within Zoning By-law 1784 (refer to Attachment #7). The Agricultural (A) Zone does not permit the proposed use. Therefore, a Zoning By-law Amendment is required to permit the proposed development.

As the subject land is located within the Brooklin Secondary Plan Area, the site-specific By-law for the subject property will be premised upon applicable zoning provisions outlined within the Brooklin Community Secondary Plan Area By-law (# 7959-23).

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected on the Garrard Road frontage of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the application and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the applications will be considered.

8. Attachments:

- Attachment #1: Location Sketch
- Attachment #2: Aerial Context Map
- Attachment #3: Proponent's Proposed Site Plan
- Attachment #4: Proponent's Proposed Landscape Plan
- Attachment #5: Proponent's Proposed Building Elevations
- Attachment #6: Excerpt from the Town of Whitby Secondary Plan Schedule 'J'
- Attachment #7: Excerpt from Zoning By-law 1784

Attachment #1 Location Sketch

PDP 11-25



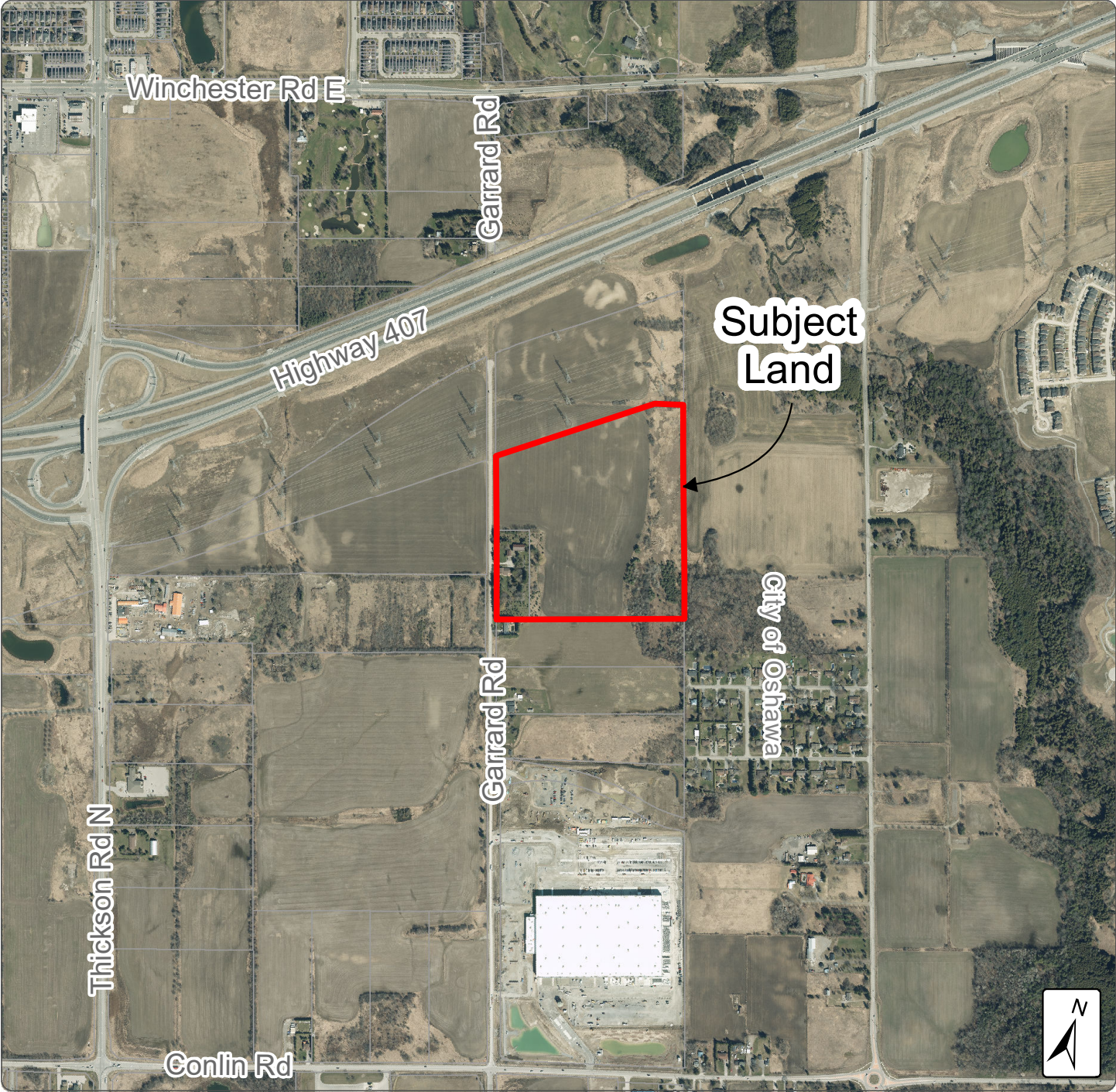
 **Town of Whitby Planning and Development Department**

Proponent: MHBC PLANNING LIMITED c/o David McKay	File Number: DEV-34-24 / Z-16-24	Date: February 2025
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Attachment #2 Aerial Context Map

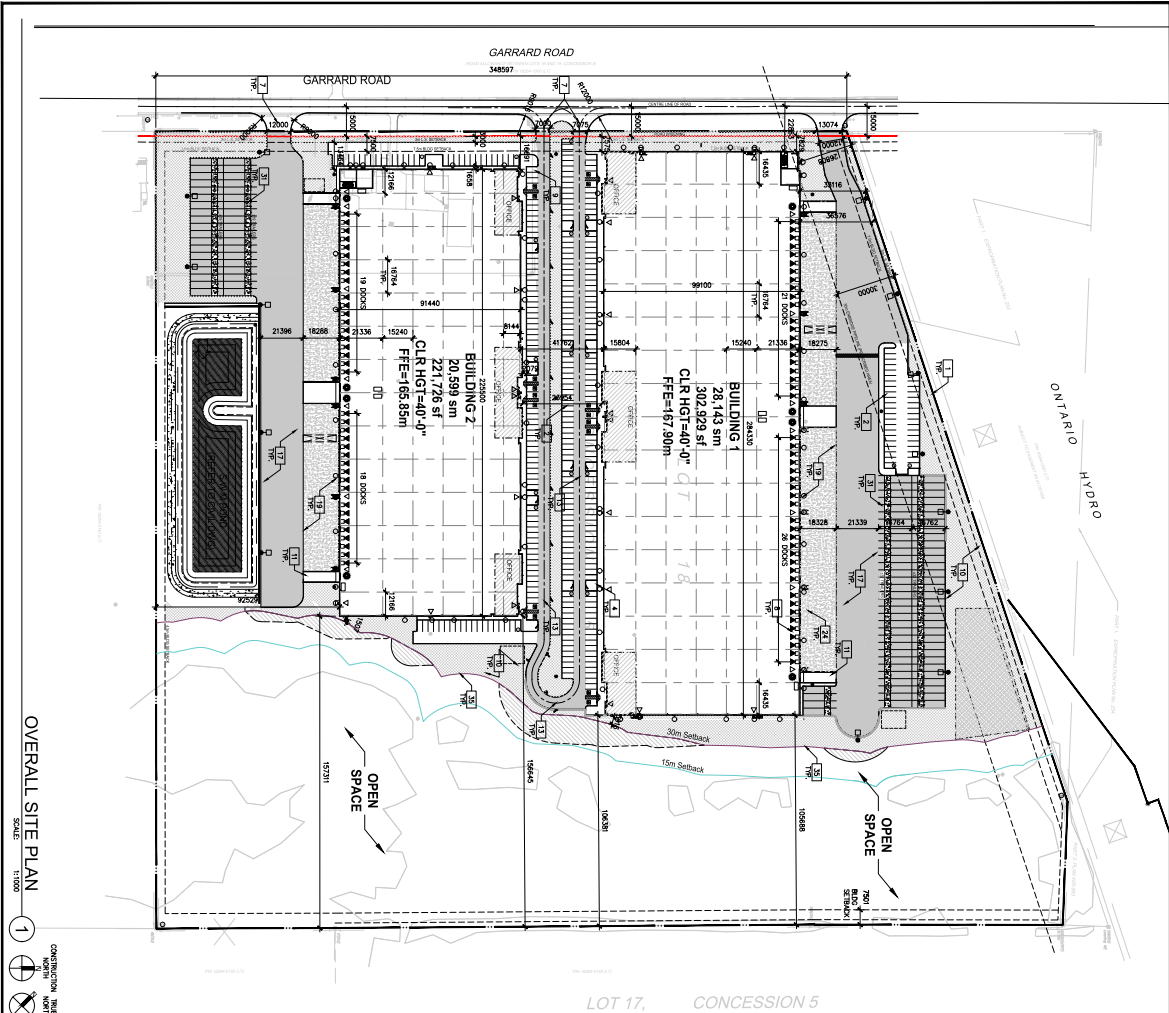


Town of Whitby Planning and Development Department		
Proponent: MHBC PLANNING LIMITED c/o David McKay	File Number: DEV-34-24 / Z-16-24	Date: February 2025
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Proponent's Proposed Site Plan

\\TOR\23\00131\00\Architectural\Cad\20\10013_A100.dwg



SITE PLAN NOTES

- 1 PROPERTY LINE - SHOWS TOTAL AREA AND SPACING PER...
- 2 FOUNDATION LAYOUT ACCORDING TO FOUNDATION PLAN...
- 3 100mm MIN. WIDE SIDEWALK TYPICAL UNLO...
- 4 ACCESSIBLE PARKING SIGN
- 5 CAR ACCESS ENTRANCE
- 6 TRUCK LOADING DOCK, 75%...
- 7 STAIRS FOR TOWER OF WINDY STAIRS BY TOWER...
- 8 STAIRS FOR TOWER OF WINDY STAIRS BY TOWER...
- 9 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 10 TOWER-TO-TOWER WALKWAY AND OVERPASS
- 11 TO 15.5M WALKWAY CONNECTION - TO CONFORM...
- 12 PROPOSED LOCATION OF ELECTRICAL ROOM
- 13 RESERVED
- 14 PROPOSED LOCATION OF LANDSCAPE WALKWAY...
- 15 HANDS ON SIGNAGE SHALL BE PROVIDED FOR ALL...
- 16 HANDS ON SIGNAGE SHALL BE PROVIDED FOR ALL...
- 17 HANDS ON SIGNAGE SHALL BE PROVIDED FOR ALL...
- 18 HANDS ON SIGNAGE SHALL BE PROVIDED FOR ALL...
- 19 CONCRETE FINISH
- 20 RESERVED
- 21 PAINTED METAL FINISH CONNECTIONS PER TOWN OF WHITBY
- 22 EXTERIOR STAIRS WITH THE STEEL OVERSKILL, TYP
- 23 EXTERIOR STAIRS WITH THE STEEL OVERSKILL, TYP
- 24 RESERVED
- 25 WASTE COLLECTION/WATERING AREA SUBJECT TO TOWN OF WHITBY
- 26 WASTE COLLECTION/WATERING AREA SUBJECT TO TOWN OF WHITBY
- 27 RESERVED
- 28 CONCRETE FLOOR AT EACH STAIR LANDING
- 29 CONCRETE FLOOR AT EACH STAIR LANDING
- 30 CONCRETE FLOOR AT EACH STAIR LANDING
- 31 CONCRETE FLOOR AT EACH STAIR LANDING
- 32 CONCRETE FLOOR AT EACH STAIR LANDING
- 33 CONCRETE FLOOR AT EACH STAIR LANDING
- 34 CONCRETE FLOOR AT EACH STAIR LANDING
- 35 CONCRETE FLOOR AT EACH STAIR LANDING
- 36 CONCRETE FLOOR AT EACH STAIR LANDING
- 37 CONCRETE FLOOR AT EACH STAIR LANDING

PROJECT STATISTICS

DESCRIPTION	UNIT	AMOUNT
TOTAL AREA	SQM	48,732
FLOOR AREA	SQM	48,732
PERIMETER	FT	1,111
NO. OF STORIES	1	1
NO. OF UNITS	0	0
NO. OF PARKING SPACES	0	0
NO. OF TRUCK DOCKS	0	0
NO. OF STAIRS	0	0
NO. OF ELEVATORS	0	0
NO. OF ESCALATORS	0	0
NO. OF MECH. ROOMS	0	0
NO. OF STORAGE ROOMS	0	0
NO. OF OFFICES	0	0
NO. OF RESTROOMS	0	0
NO. OF BREAK ROOMS	0	0
NO. OF STORAGE SPACES	0	0
NO. OF VEHICLES	0	0

CAUTION - IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

SITE LEGEND

WHITBY INDUSTRIAL BUILDING SHELL
5515 GARRARD ROAD
WHITBY, ONTARIO

Ontario Association of Architects

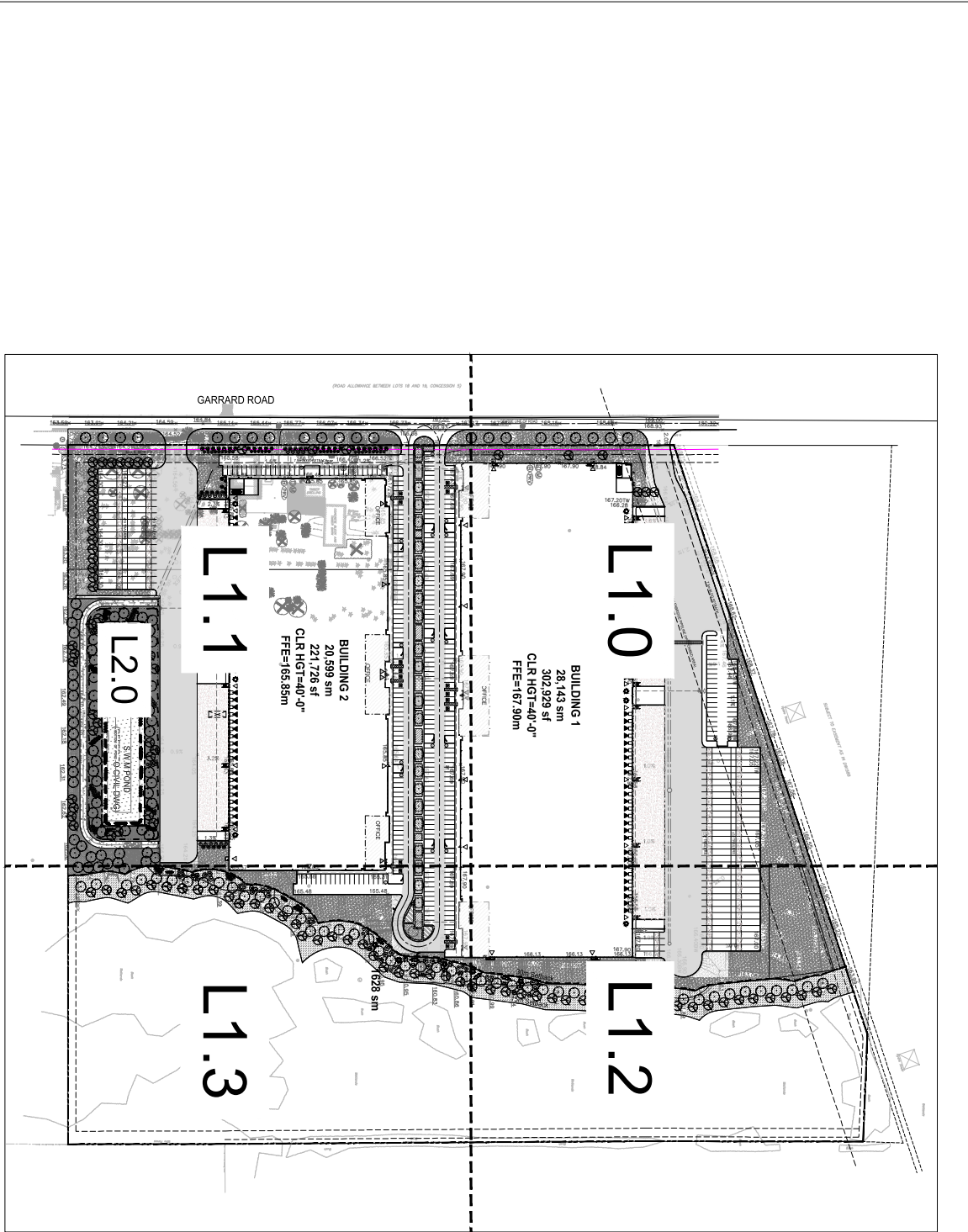
Site Legend
 - Symbols for Building, Driveway, Parking, etc.
 - Scale: 1:1000

Overall Site Plan
DATE: 2024-10-23
ISSUED FOR ZBA SUBMISSION

SHEET A100

Attachment #4 Proponent's Proposed Landscape Plan

PDP 11-25



LEGEND

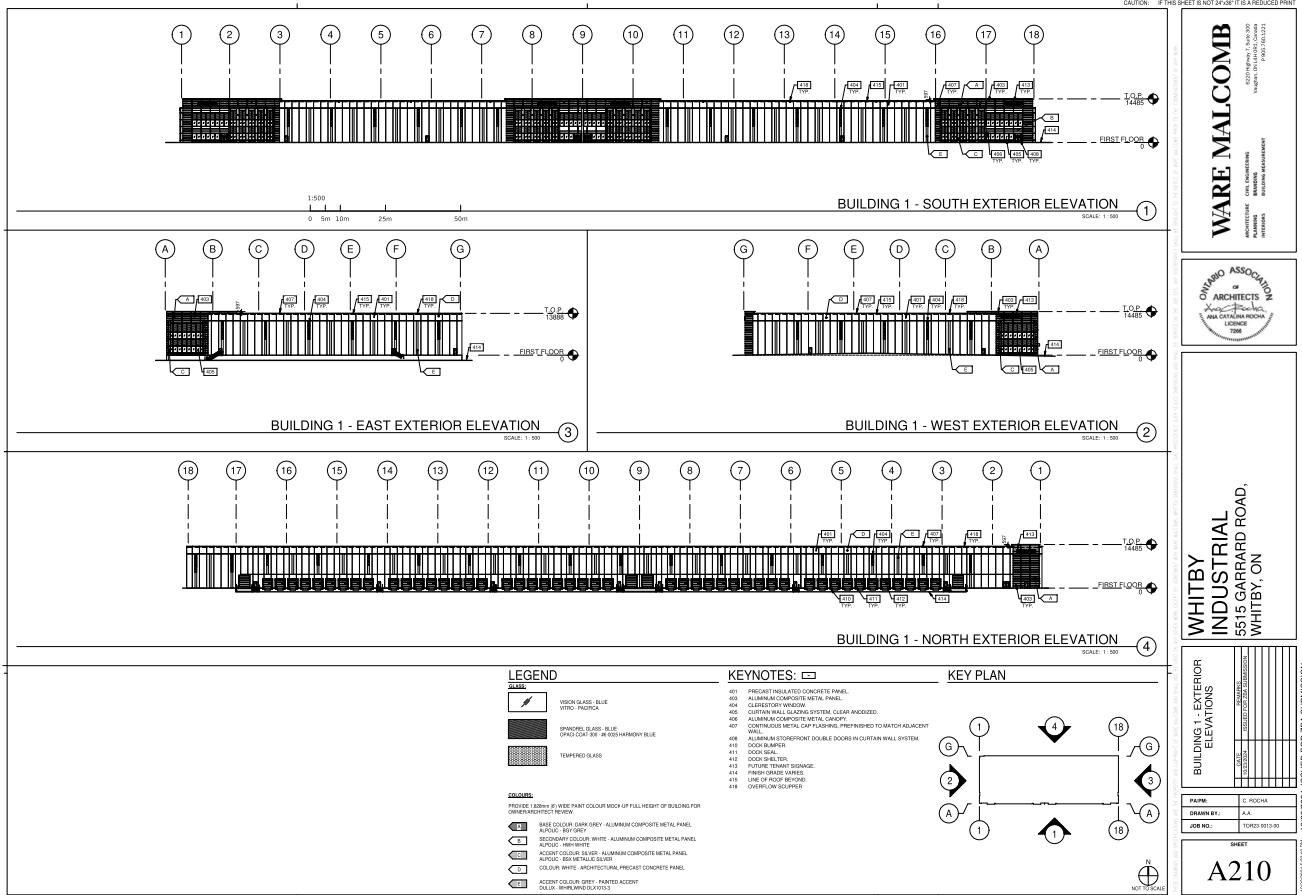
GENERAL NOTES

1. Do not scale the drawings. All dimensions are in millimeters unless noted otherwise.
2. This drawing is to be read in conjunction with the overall master plan and engineering drawings.
3. The contractor shall be responsible for the design and construction of the landscape and site work.
4. The contractor shall be responsible for the design and construction of the landscape and site work.
5. The contractor shall be responsible for the design and construction of the landscape and site work.
6. The contractor shall be responsible for the design and construction of the landscape and site work.
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8. The contractor shall be responsible for the design and construction of the landscape and site work.
9. The contractor shall be responsible for the design and construction of the landscape and site work.
10. The contractor shall be responsible for the design and construction of the landscape and site work.

<p style="text-align: center;"> MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE </p> <p style="text-align: right;"> DATE: OCTOBER 2014 DRAWING BY: #1 PLAN SCALE: 1:500 FILE NO.: 22002 CHECKED BY: DC </p> <p style="text-align: right;"> PRODUCT: 5515 GARRARD ROAD PRE-02-24 </p>	<p style="text-align: center;"> REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT NOT FOR CONSTRUCTION </p> <p style="text-align: center;"> OVERALL PLAN L0 </p>
---	--

Attachment #5 Proponent's Proposed Building Elevations

PDP 11-25



WARE MALCOMB
ARCHITECTURE & INTERIORS
5515 GARRARD ROAD, WHITBY, ON
L1B 4R4
P: 905.761.2222
F: 905.761.2221

ONTARIO ASSOCIATION OF ARCHITECTS
REGISTERED ARCHITECT
ANA CEFALINA ROCHA
L1B 4R4
P: 905.761.2222

WHITBY INDUSTRIAL
5515 GARRARD ROAD,
WHITBY, ON

BUILDING 1 - EXTERIOR ELEVATIONS

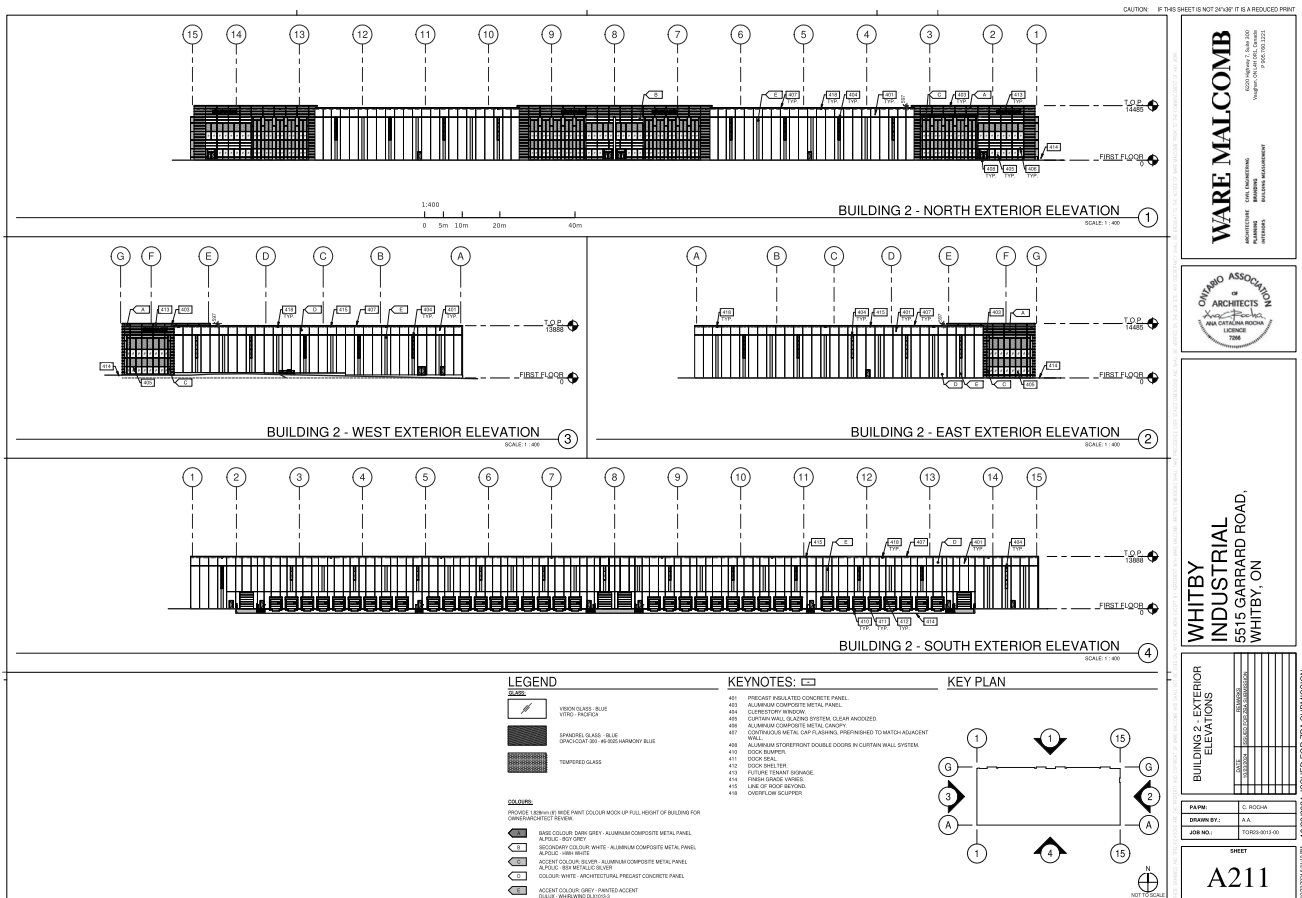
DATE	DESCRIPTION

PROJECT DESIGNER: SEE PAINT COLOUR MOOD UP FULL HEIGHT OF BUILDING FOR OBSERVATION/INSPECTION REVIEW

DATE: 2023-03-15

SCALE: 1:500

A210



WARE MALCOMB
ARCHITECTURE & INTERIORS
5515 GARRARD ROAD, WHITBY, ON
L1B 4R4
P: 905.761.2222
F: 905.761.2221

ONTARIO ASSOCIATION OF ARCHITECTS
REGISTERED ARCHITECT
ANA CEFALINA ROCHA
L1B 4R4
P: 905.761.2222

WHITBY INDUSTRIAL
5515 GARRARD ROAD,
WHITBY, ON

BUILDING 2 - EXTERIOR ELEVATIONS

DATE	DESCRIPTION

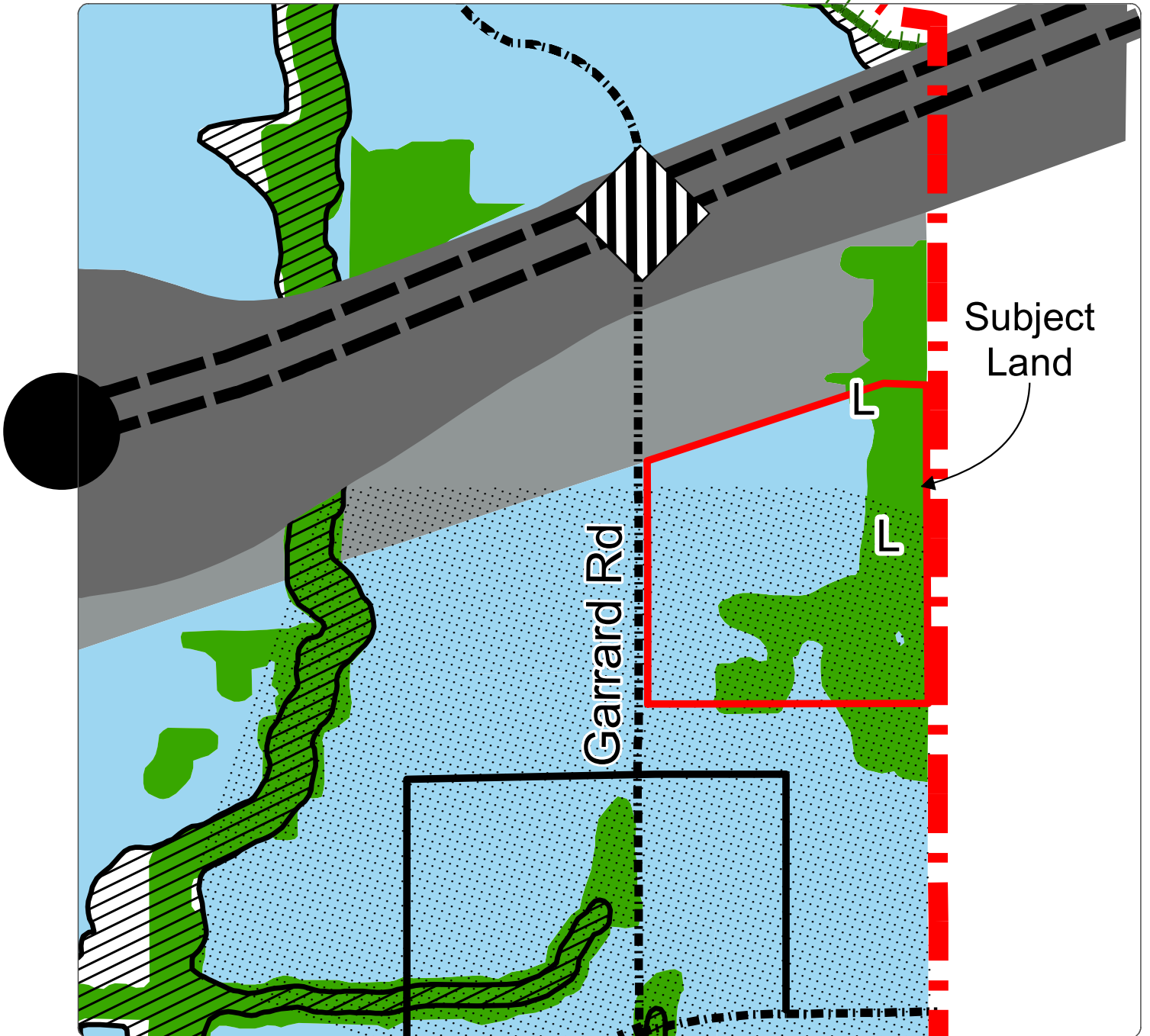
PROJECT DESIGNER: SEE PAINT COLOUR MOOD UP FULL HEIGHT OF BUILDING FOR OBSERVATION/INSPECTION REVIEW

DATE: 2023-03-15

SCALE: 1:500

A211

Excerpt from the Town of Whitby Secondary Plan Schedule 'J'



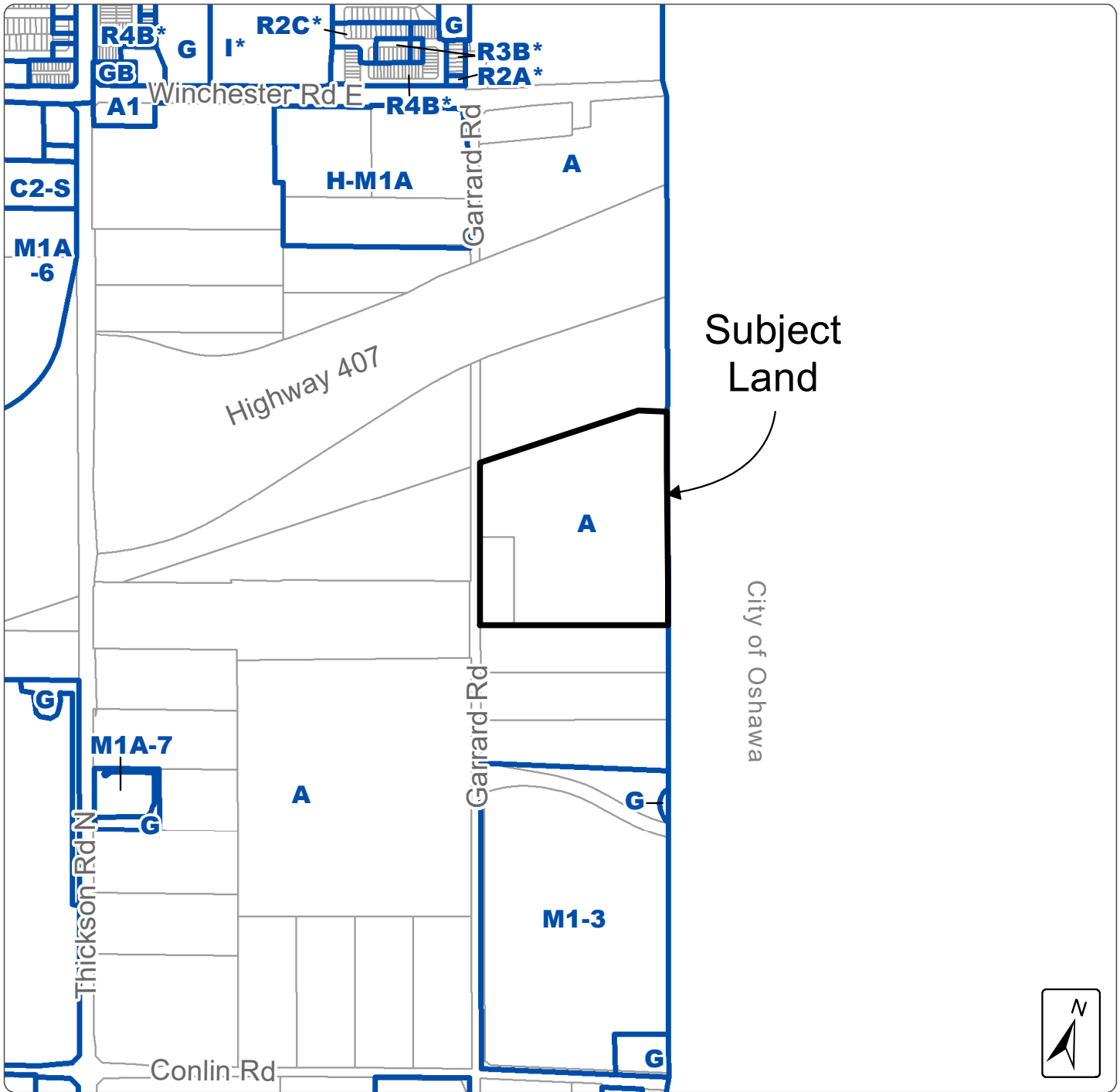
LEGEND			
Low Density Residential	Business Park	Lands subject to Durham Regional Official Plan Policy 14.13.7 - D2	Full Interchange
Medium Density Residential	General Industrial	Natural Hazards	Potential Interchange (Subject to Further Study)
High Density Residential	Major Open Space	Utility	Grade Separation
Local Commercial	District Park	Health Precinct Special Policy Area	Potential Grade Separation
Special Purpose Commercial	Local Park	Community Central Area	Future Transitway Station
Heritage Commercial	Parkette	Major Central Area	Controlled Access Highway (Freeway)
Major Commercial	Town Park	Heritage Conservation District Boundary	Type A Arterial
Major Commercial -1	Institutional	Secondary Plan Boundary	Type B Arterial
Mixed-Use 1 - Community Central Area	Secondary Schools	Special Policy Area - Refer to Section 11.5.31.6	Type C Arterial
Mixed-Use 2 - HCD	Elementary Schools	Natural Heritage System	Collector Road
Mixed-Use 3	L Linkage in NHS		Greenbelt Plan Boundary
Prestige Industrial	D1 Deferred by the Region of Durham		

Excerpt from: Schedule J

Brooklin Community Secondary Plan

Town of Whitby

Attachment #7 Excerpt from Zoning By-Law 1784



Town of Whitby Planning and Development Department		
Proponent: MHBC PLANNING LIMITED c/o David McKay	File Number: DEV-34-24 / Z-16-24	Date: February 2025
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Town of Whitby Public Meeting Report

whitby.ca/CouncilCalendar



Report Title: DEV-46-24: Official Plan Amendment and Zoning By-law Amendment Applications, GHD on behalf of 1151 Whitby GP Inc., 1151 Dundas Street West, File No. OPA 2024-W12, Z-23-24

Date of meeting: February 10, 2025

Report Number: PDP 12-25

Department(s) Responsible:
Planning and Development Department
(Planning Services)

Submitted by:

R. Saunders, Commissioner of Planning
and Development

**Acknowledged by M. Gaskell, Chief
Administrative Officer**

For additional information, contact:

J. Taylor, Director of Planning, 905-444-
2908

M.Guinto, Planner I, 905-444-1936

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1. Highlights:

- An Official Plan Amendment Application to amend the Envision Durham/Town of Whitby Official Plan, and a Zoning By-law Amendment Application to amend Zoning By-law 1784 have been submitted by GHD on behalf of 1151 Whitby GP Inc, for the land municipally known as 1151 Dundas Street West.
- The proposed applications would facilitate the development of three buildings (a warehouse building, an industrial condo flex building, and a third building along Dundas Street West for industrial, retail and other commercial uses).
- A future site plan application will be required.

2. Purpose:

The purpose of this report is to present information related to the Official Plan Amendment and Zoning By-law Amendment application at a statutory public meeting, as required by the Ontario Planning Act.

3. Background:

3.1. Site and Area Description

The subject land is located on the south side of Dundas Street West, west of Fothergill Court. The subject land is municipally known as 1151 Dundas Street West (refer to Attachment #1). The subject land is approximately 7.34 hectares (18.14 acres) in size.

The subject land is currently vacant. The land uses to the south and west are vacant, while the lands to the north are residential and the land to the east is an automobile dealership (Whitby Toyota).

3.2. Applications and Proposed Development

The purpose of the proposed **Official Plan Amendment and the Zoning By-law Amendment** is to permit the development of three buildings with a floor area of 38,603 square metres, comprised of: a warehouse building in the southern portion; an industrial condo flex building in the central portion; and a third building along Dundas Street West for industrial, retail and other commercial uses (refer to Attachment #3).

3.3. Documents Submitted in Support

A number of documents were submitted in support of the applications, including the following:

- A Hydrogeological Investigation Report, prepared by DS Consultants, dated October 2022.
- A Geotechnical Report, prepared by DS Consultants, dated August 2022.
- A Planning Justification Report, prepared by GHD Limited.
- A Functional Servicing and Stormwater Management Report, prepared by Counterpoint Engineering Inc, dated December 2024.
- A Transportation Impact Study, prepared by NexTrans Consulting Engineering, dated December 2024.
- A Noise Feasibility Study, prepared by HGC Engineering, dated December 2024.
- A Stage 1-2 Archaeological Assessment, prepared by Archeoworks Inc., dated March 2022.
- A Phase One Environmental Site Assessment Report, prepared by DS Consultants LTD, dated August 2022.
- A Boundary and Topographic Survey, prepared by J.D Barnes Limited, dated July 2021.
- An Environmental Impact Study, prepared by Birks Landscaping Inc, dated December 2024.
- A Conceptual Landscape Plan, prepared by HKLA Inc., dated December 2024.
- An Architectural Package including a Site Plan and Building Elevations, prepared by Powers Brown Architecture, dated December 2024 (refer to Attachments #3 and #4).

4. Discussion:

4.1. Envision Durham

The subject land is designated as Employment Areas on Map 1 – Regional Structures of the Regional Official Plan (Envision Durham). Employment Areas are locations for primary employment generating uses such as manufacturing, assembly, processing, generation, freight and transportation, warehousing, storage, major facilities, and similar uses that require access to highway, rail, shipping facilities and/or separation from sensitive land uses. Portions of the subject land are also designated Major Open Space Areas.

An amendment to the Envision Durham Official Plan as it relates to the Town of Whitby will be required to permit the proposed commercial/retail uses along Dundas Street West.

4.2. Whitby Official Plan

The subject land is designated as Prestige Industrial and Major Open Space as shown on Schedule A – Land Use (refer to Attachment #5) and designated Prestige Industrial, Environmental Protection Area and Flood Policy Area on Schedule R – West Whitby Secondary Plan (refer to Attachment #6).

Lands designated Prestige Industrial are located in strategic locations having exposure to Highways 401, 407 and 412 and are intended to accommodate light industrial uses, office and professional uses e.g. research and development facilities; corporate head offices; light manufacturing (4.7.3.2 & 11.8.2.6).

Lands designated Environmental Protection Area with Flood Policy Area include environmentally sensitive features, flood hazard land/floodplain, valley lands, woodlands, wetlands and/or streams. Environmental Impact Studies are required for development proposed in proximity to such features, to determine potential impacts and limits of development (11.8.2.8).

An Official Plan Amendment is required to change the land use designation on a portion of the property to permit the proposed commercial and retail uses in the proposed building fronting Dundas Street.

4.3. Zoning By-law

The subject land is zoned Agricultural (A) within the Town of Whitby Zoning By-law 1784, which permits a variety of agricultural and agricultural related uses but does not permit the proposed development.

A Zoning By-law Amendment is required to rezone the subject land to an appropriate zone category to implement the proposed use (refer to Attachment #7).

4.4. Future Application

A future Site Plan application will be required to consider the site details and implement the proposed development.

5. Communication and Public Engagement:

Notice of the statutory public meeting was mailed to all property owners within 120 metres of the subject land at least 20 days prior to the meeting date. Furthermore, a public notice sign has been erected along the Dundas Street

West frontage of the subject land in accordance with the Town's notification procedures.

6. Consultation with other Departments/Sources:

The applicable agencies and departments have been circulated the applications and copies of the associated supporting materials for their review and comment.

7. Conclusion:

All comments received at this statutory public meeting, as well as any subsequent written submissions, will be considered by the Planning and Development Department as part of its review and analysis of the development applications. A recommendation report will be brought forward to the Committee of the Whole at such time as input from the commenting agencies, departments and the public have been received and assessed.

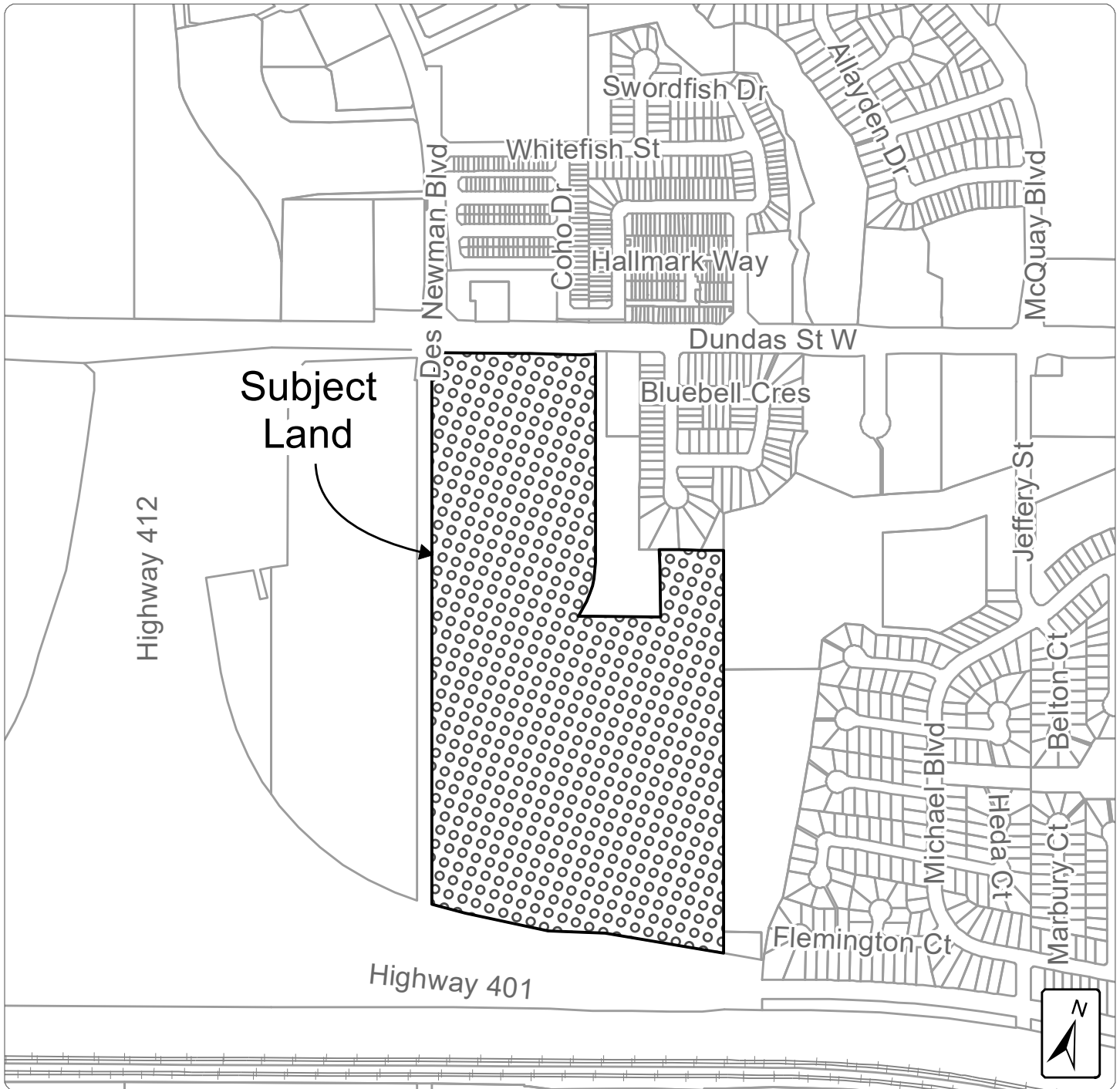
All persons who make oral submissions, or have requested notification in writing, will be given written notice of the future meeting of the Committee of the Whole at which the applications will be considered.

8. Attachments:

- Attachment #1 Location Sketch
- Attachment #2 Aerial Context Map
- Attachment #3 Proponent's Proposed Concept Plan
- Attachment #4 Proponent's Proposed Building Elevations
- Attachment #5 Excerpt from the Town of Whitby Official Plan Schedule 'A'
- Attachment #6 Excerpt from Town of Whitby Schedule 'R'
- Attachment #7 Excerpt from Zoning By-law 1784

Attachment #1 Location Sketch

PDP 12-25



Town of Whitby Planning and Development Department

Proponent:
1151 Whitby GP LTD.

File Number:
DEV-46-24
(OPA-2024-W12 & Z-23-24)

Date:
February 2025

External Data Sources:
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Attachment #2 Aerial Context Map



 **Town of Whitby Planning and Development Department**

Proponent:
1151 Whitby GP LTD.

File Number:
DEV-46-24
(OPA-2024-W12 & Z-23-24)

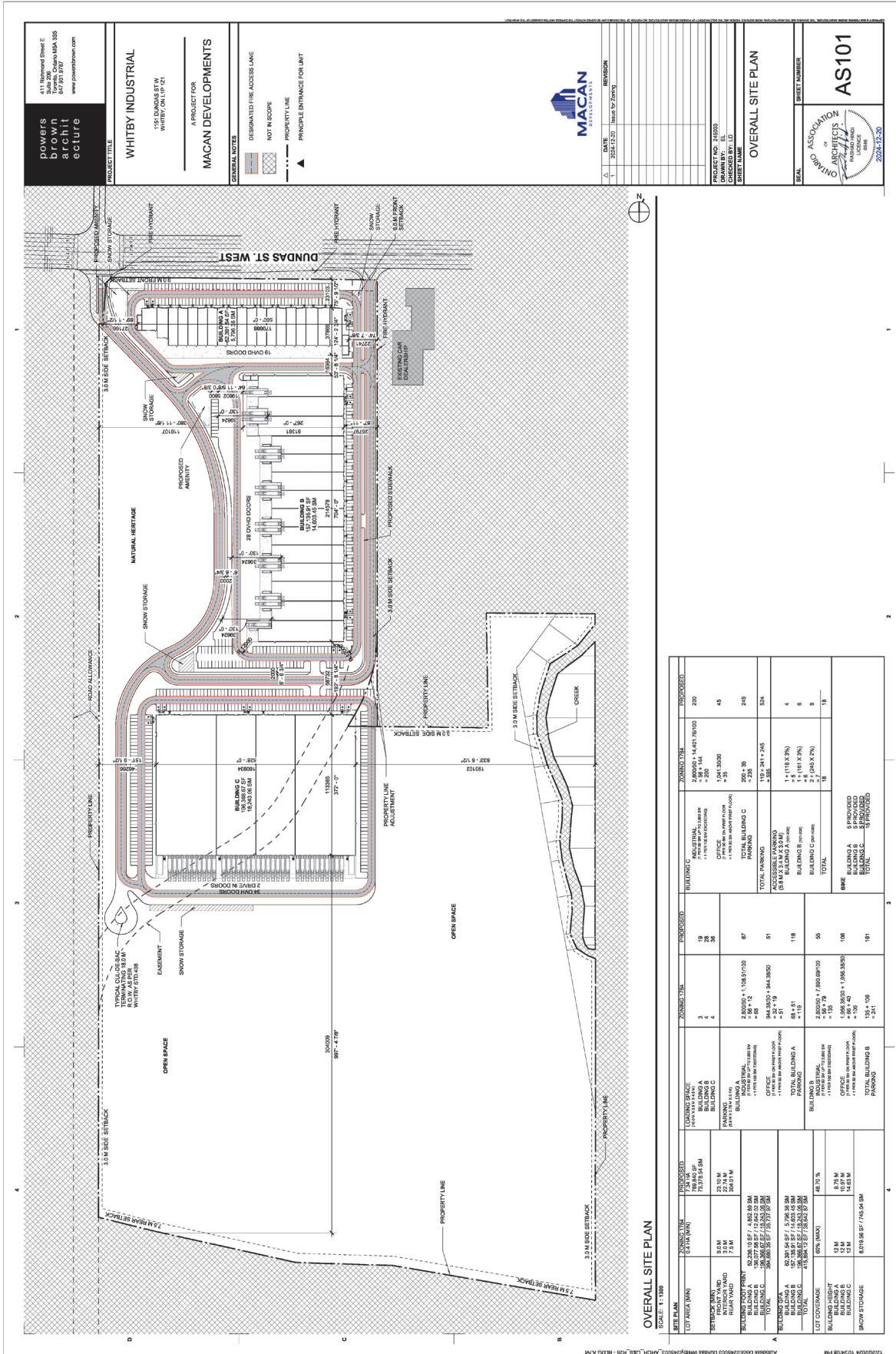
Date:
February 2025

External Data Sources:
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Attachment #3 Proponent's Proposed Concept Plan

PDP 12-25



411 Richmond Street E
Toronto, Ontario M5A 1S5
416.593.9787
www.powellbrowne.com

**powell
brown
architect**

WHITBY INDUSTRIAL
115 DUNDAS ST W
WHITBY ON L1R 6T1

PROJECT FOR
MACAN DEVELOPMENTS

GENERAL NOTES
DESIGNATED FIRE ACCESS LANE
NOT IN SCOPE
PROPERTY LINE
PRINCIPLE ENTRANCE FOR UNIT



NO.	DATE	REVISION
1	2024.12.20	Issue for Zoning

PROJECT NO.: 25093
CHECKED BY: JLD
SHEET NAME:
OVERALL SITE PLAN

SEAL
INTEGRITY ASSOCIATION OF ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECT
L12000
2024.12.20

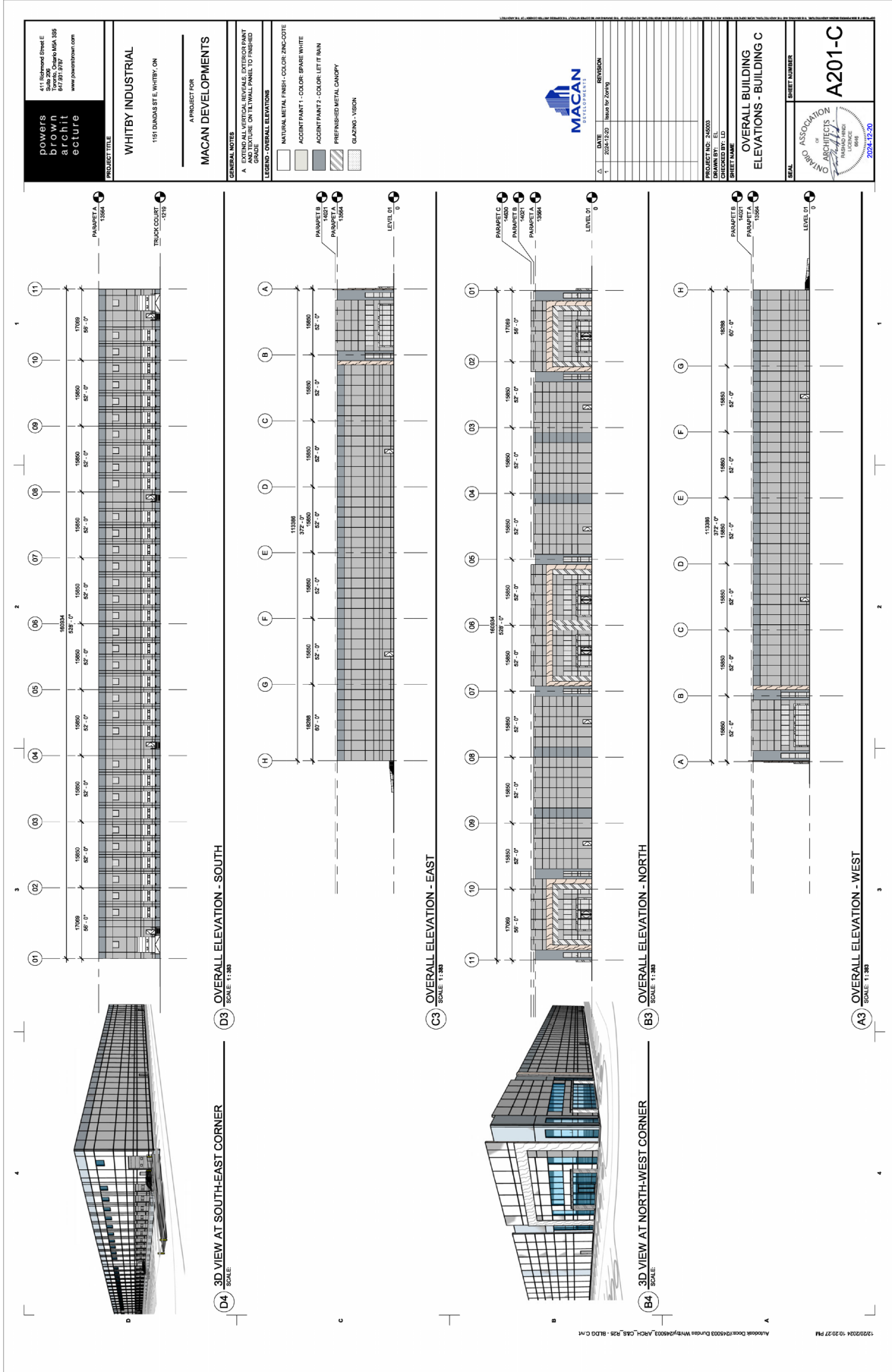
SHEET NUMBER
AS101

OVERALL SITE PLAN

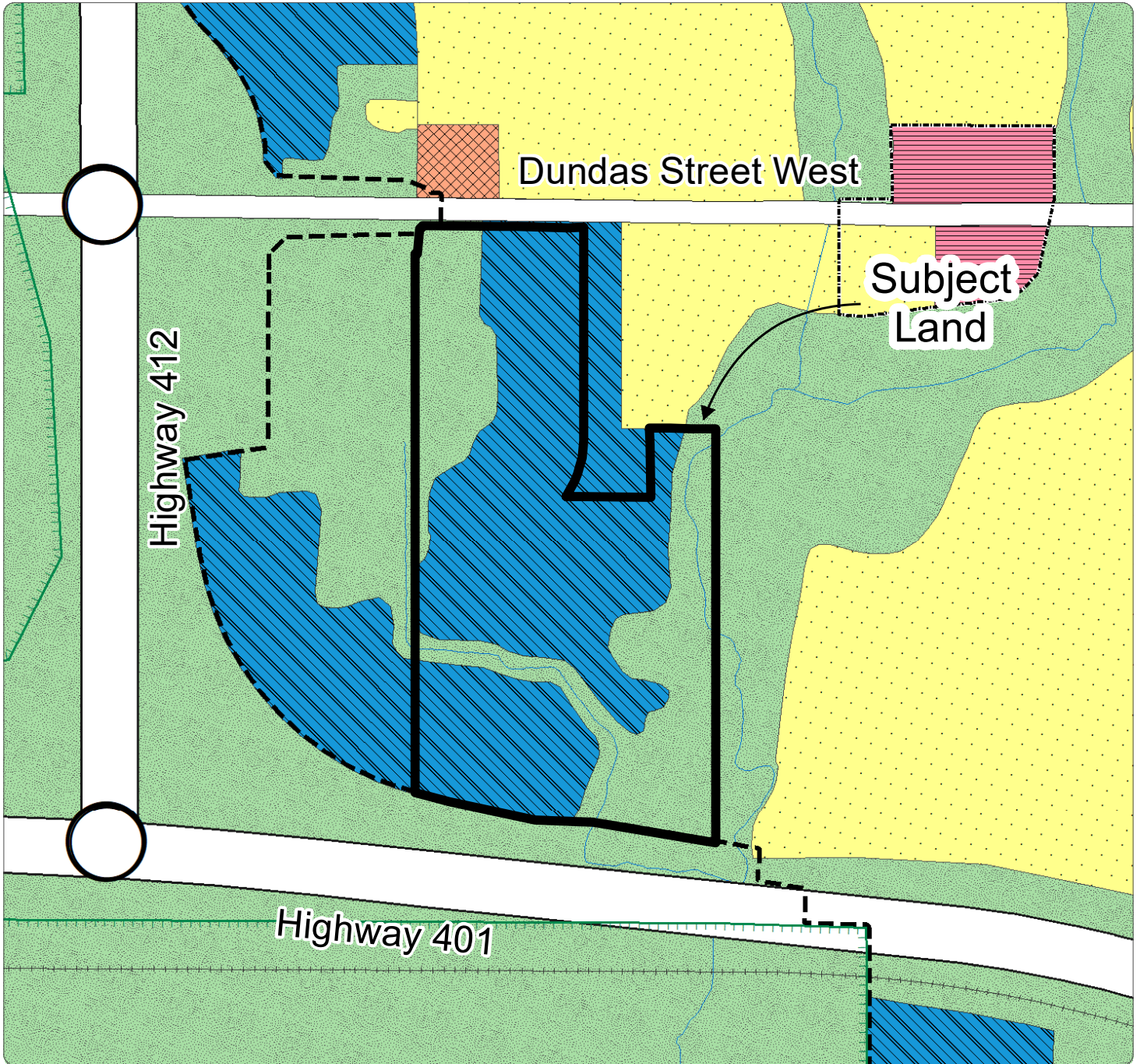
SCALE: 1:1500

ITEM PLAN	ZONING TYPE	PROPOSED	ZONING TYPE	PROPOSED	ZONING TYPE	PROPOSED
TOTAL FLOOR AREA	6,616 SQ M	78,840 SQ M	2,800 SQ M	14,451 SQ M	2,800 SQ M	14,451 SQ M
TOTAL FLOOR AREA	73,226 SQ M	78,840 SQ M	2,800 SQ M	14,451 SQ M	2,800 SQ M	14,451 SQ M
SETBACK	8.0 M	23.0 M	2,800 SQ M	14,451 SQ M	2,800 SQ M	14,451 SQ M
FRONT YARD	2.0 M	35.0 M	2,800 SQ M	14,451 SQ M	2,800 SQ M	14,451 SQ M
REAR YARD	2.0 M	35.0 M	2,800 SQ M	14,451 SQ M	2,800 SQ M	14,451 SQ M
BUILDING FOOTPRINT	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING A	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING B	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING C	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
TOTAL	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING SPA	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING A	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING B	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
BUILDING C	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
TOTAL	1,038,510 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M	2,800 SQ M	1,038,510 SQ M
LOT COVERAGE	100% (MAX)	100% (MAX)	100% (MAX)	100% (MAX)	100% (MAX)	100% (MAX)
BUILDING HEIGHT	12 M	12 M	12 M	12 M	12 M	12 M
BUILDING A	12 M	12 M	12 M	12 M	12 M	12 M
BUILDING B	12 M	12 M	12 M	12 M	12 M	12 M
BUILDING C	12 M	12 M	12 M	12 M	12 M	12 M
SNOW STORAGE	8,871 SQ SF / 745,644 SQ M	8,871 SQ SF / 745,644 SQ M	8,871 SQ SF / 745,644 SQ M	8,871 SQ SF / 745,644 SQ M	8,871 SQ SF / 745,644 SQ M	8,871 SQ SF / 745,644 SQ M

Proponent's Proposed Building Elevations



Excerpt from the Town of Whitby Official Plan Schedule 'A'



Legend

	Residential		Lands Subject to Durham Regional Official Plan Policy 14.13.7		D3 (Deferred by Region of Durham)
	Major Commercial		Deferred by the Region of Durham		
	Community Commercial		Local Central Area		
	Special Purpose Commercial		Resource Extraction Area (See Section 4.12)		
	Mixed Use		Utility		
	Prestige Industrial		2031 Urban Area Boundary		
	General Industrial		Community Central Area Boundary		
	Special Activity Node		Future Urban Development Area Boundary		
	Institutional		Greenbelt Protected Countryside Boundary		
	Major Open Space		Hamlet Boundary		
	Agricultural		Major Central Area Boundary		
	Hamlet		Municipal Boundary		
	Estate Residential		Southern Boundary of Oak Ridges Moraine		
	Special Policy Area Refer to section 11.5.31.6		Urban Central Area Boundary		

Notes: Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

Official Plan - Town of Whitby

Schedule

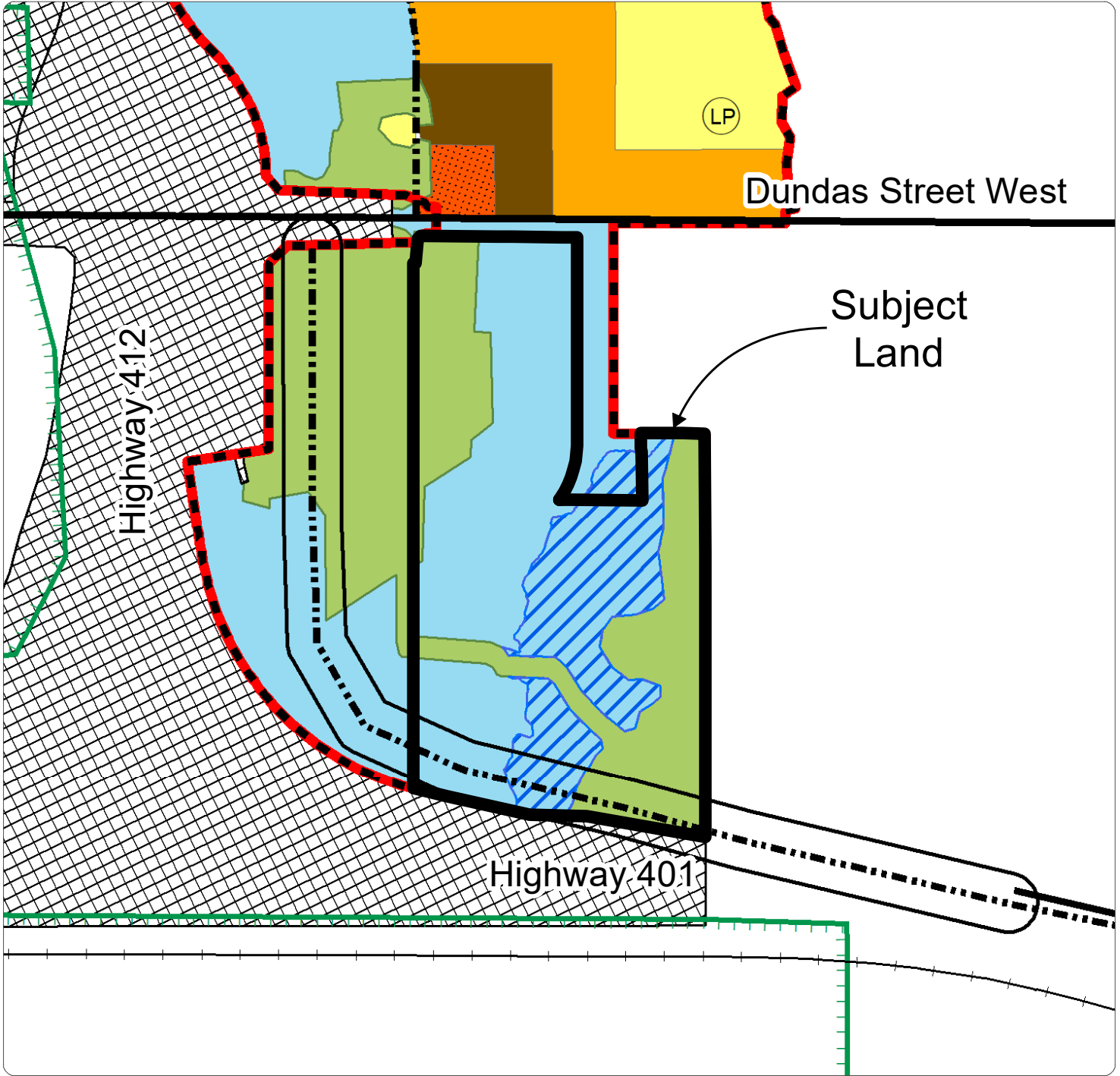
Excerpt from Schedule 'A' Land Use

A

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.

Attachment #6

Excerpt from the Town of Whitby Secondary Plan Schedule 'R'





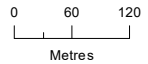
LEGEND

<p>Land Use Designations</p> <ul style="list-style-type: none"> Prestige Industrial Environmental Protection Area Major Open Space Mixed Use One Mixed Use Two Special Mixed Use Two Policy Areas (Refer to Section 11.12.2.2) High Density Residential Medium Density Residential Low Density Residential Special Purpose Commercial Almond Village Special Policy Area 	<p>Boundaries</p> <ul style="list-style-type: none"> Secondary Plan Boundary Greenbelt Plan Boundary Central Area Boundary <p>Transportation</p> <ul style="list-style-type: none"> Existing Arterial Road Network Future Arterial Road Network Proposed Collector Road Network Railway West Durham Link (WDL) 	<p>Symbols and Overlays</p> <ul style="list-style-type: none"> Separate Elementary Schools Public Elementary Schools Public Secondary Schools District Park Local Park Flood Policy Area Gateway Areas
---	---	--

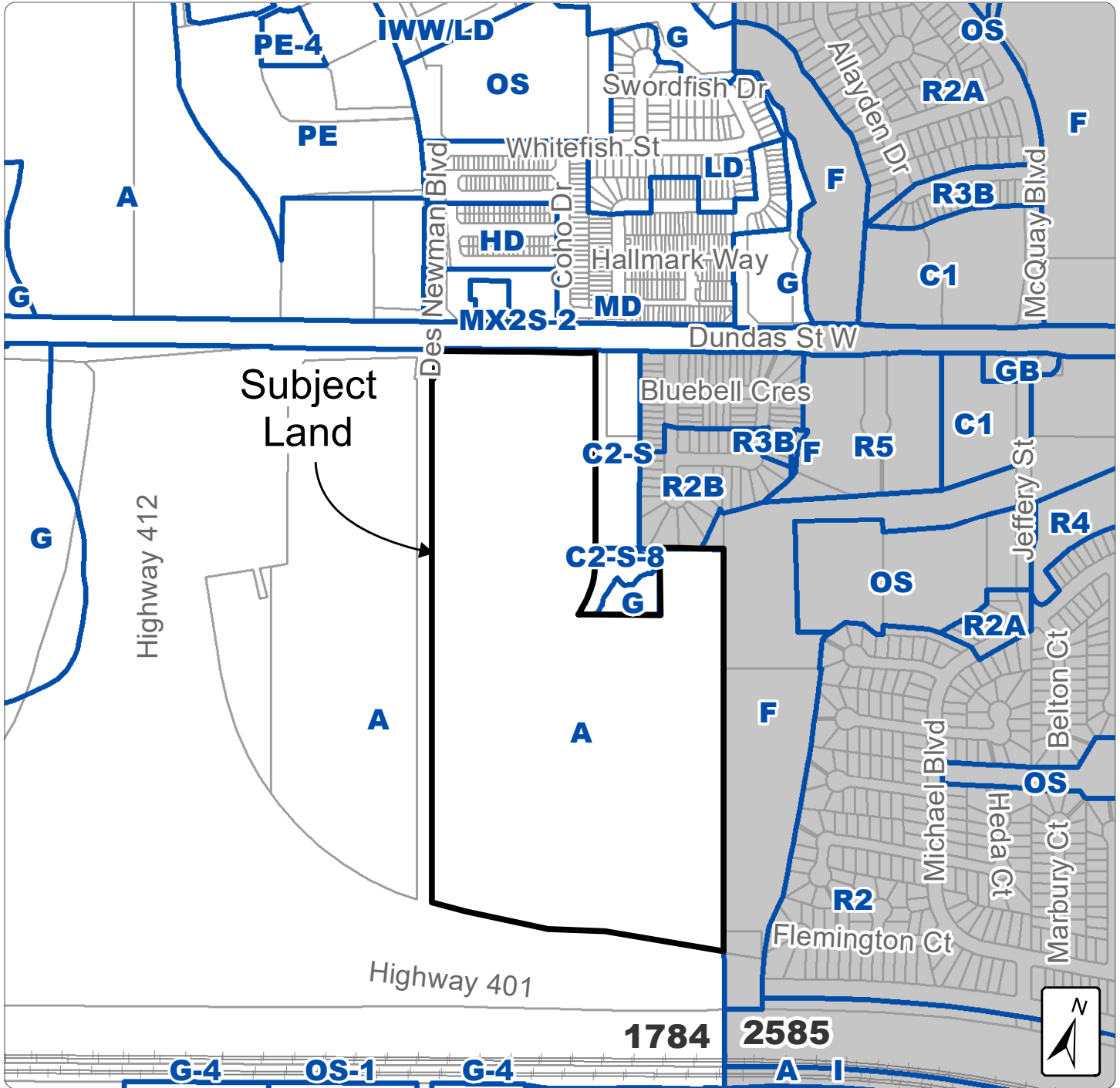
Excerpt from: **West Whitby Community Secondary Plan**

Town of Whitby

Schedule **R**

Attachment #7
Excerpt from Zoning By-Law 1784



 **Town of Whitby Planning and Development Department**

Proponent:
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