

Cultural Heritage Impact Assessment Conformity to HCD Plan

**25 Way Street,
Whitby (Brooklin), Ontario**



Prepared for:

Taurus Construction

Prepared By:

Vincent J. Santamaura, Architect Inc., CAHP

12 February 2025

Project No. 2025-02



Cultural Heritage Impact Assessment – Conformity to HCD Plan

25 Way Street, Whitby (Brooklin), Ontario

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1.0 Executive Summary

The owner and resident at 25 Way Street, Whitby (Brooklin) (Part 1 of R-Plan 40R-22994, part of Lot 24, Concession 6, Town of Whitby, Regional Municipality of Durham) is undergoing a substantial renovation to their home and property. The project has been granted a heritage permit for the home, and now requires a heritage permit for alterations to the property which proposes the demolition of 2 existing out buildings and the construction of a new one in their place.

The property is located within the Brooklin Heritage Conservation District (BHCD). As such it is subject to the Policies and Guidelines outlined in the BHCD Plan for demolition and construction of new buildings. A Cultural Heritage Impact Assessment (CHIA) is required to be performed to ascertain conformity of the proposed site design to the BHCD plan and propose any mitigation as required.

Taurus Construction on behalf of the property owners has retained Vincent J. Santamaura, Architect Inc. to prepare the CHIA to the Town of Whitby's Terms of Reference for CHIA's.

Vincent J. Santamaura, Architect Inc. has completed its assessment under the Town of Whitby's Term of Reference for CHIA's and with respect to the proposed demolition of 2 existing out buildings and the construction on a new one at 25 Way Street, Whitby (Brooklin) recommends the following:

It is the recommendation of this report that the revised design proposal at 25 Way Street:

- 1) permits the demolition of Accessory Buildings A & B;**
- 2) allows the construction of a new Accessory Building;**
- 3) implements design guidelines contained in the Brooklin Heritage Conservation District Plan;**
- 4) is in conformance with the Brooklin Heritage Conservation District Plan,**
- 5) will have no negative impact on the Heritage character of the Brooklin Heritage Conservation District, and**
- 6) that the demolition of the 2 out buildings and construction of a new out building be supported.**

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2.0 Introduction

2.1 Guiding Principles

The owner and resident at 25 Way Street, Whitby (Brooklin) (Part 1 of R-Plan 40R-22994, part of Lot 24, Concession 6, Town of Whitby, Regional Municipality of Durham) is undergoing a substantial renovation to their home and property. The project has been granted a heritage permit for the home, and now requires a heritage permit for alterations to the property which proposes the demolition of 2 existing out buildings and the construction of a new one in their place.

The property is located within the Brooklin Heritage Conservation District (BHCD). As such it is subject to the Policies and Guidelines outlined in the BHCD Plan for demolition and construction of new buildings. A Cultural Heritage Impact Assessment (CHIA) is required to be performed to ascertain conformity of the proposed site design to the BHCD plan and propose any mitigation as required.

Taurus Construction on behalf of the property owners. has retained Vincent J. Santamaura, Architect Inc. to prepare the scoped CHIA to the Town of Whitby's Terms of Reference for CHIA's.

2.2 Associated Documents

This Cultural Heritage Impact Assessment (CHIA) has been prepared with regard to the following governing documents:

- Provincial Policy Statement
- The Ontario Heritage Act
- The Durham Region Official Plan 2024 Consolidation
- The Town of Whitby Official Plan 2024 Consolidation
- Town of Whitby Zoning By-law 1784
- The Ontario Building Code 2024
- Guide to Heritage Impact Assessments and Conservation, Town of Whitby, 2013

3.0 Present Owner Contact Information:

2538970 Ontario Inc.
c/o Lesley Lebel
25 Way Street,
Whitby (Brooklin), Ontario L1M 1B7

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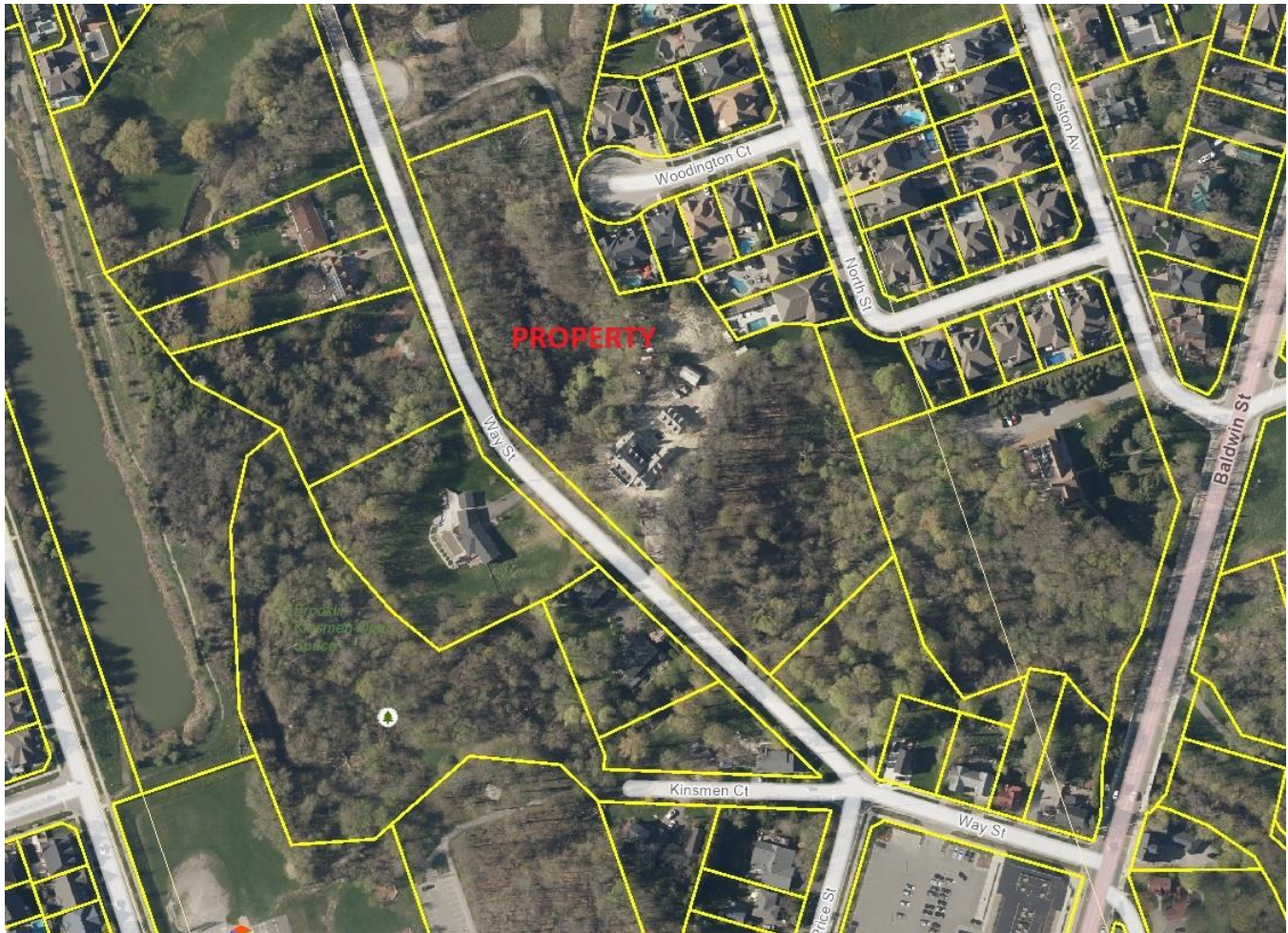
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4.0 Site Documentation

4.1 Site Location

The property is located on the east side of Way Street north of Price Street. The parcel of land is approximately 2.6162 HA (6.46 ac). The parcel shape is irregular with a frontage along Way Street of approximately 150m and a depth of 66m

The site sits on the periphery of the traditional “Main Street” of the Town of Brooklin, and separated from the commercial area by Lynde Creek and a bridge. The property is a large estate with a high table land portion on which sits the renovated home plus new and existing out buildings. The property falls from the table land south to Lynde Creek which bisects the property, and falls to the north to a lower field.



4.1.A – Aerial Photograph - Context

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4.1.B – Aerial Photograph



4.1.C – Aerial Photograph – Enlargement

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4.4 Existing Buildings & Structures

The buildings on the property consists of a one and a half storey home undergoing renovation, an under construction one and a half storey accessory building (garage), and existing one and a half storey accessory building (former garage), and an existing one storey accessory building (former chicken coop). The home and new accessory building have a heritage permit issued for the work.



4.4.A - Approach from north



4.4.B - Approach from south



4.4.C - Access from Way Street

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4.4.1 Existing Home

The existing one and a half storey home is undergoing renovations with additions under Heritage permit. It was built in 1951.



4.4.1.A – Existing Home – Front (West) Elevation



4.4.1.B – Existing Home – Front Elevation view from southwest

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4.4.1.C - Existing Home – Rear (East) Elevation



4.4.1.D - Existing Home – Rear (East) Elevation

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4.4.2. New Accessory Building

A new one and a half storey Accessory Building to be used as a 3 car garage with storage space above is under construction.



4.4.2.A – New Accessory Building – South Elevation



4.4.2.B – New Accessory Building – East Elevation

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4.4.2.C – New Accessory Building – North Elevation

4.4.3 – Existing Accessory Building A

The one and half storey Accessory Building was used as a garage with storage space above. It is of a milled wood frame construction with vertical board and batten wood siding cladding. The floor is a cast in place concrete slab on grade. The roof is a gambrel shaped constructed of wood trusses with purlins and ribbed metal roofing. It appears to have been constructed in the 1960's.



4.4.3.A – Existing Accessory Building A – South Elevation

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4.4.3.B – Existing Accessory Building A – East Elevation



4.4.3.C - Existing Accessory Building A – North Elevation

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4.4.3.D - Existing Accessory Building A – West Elevation



4.4.3.E – Existing Accessory Building A – Interior Ground floor and Loft

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4.4.4 Existing Accessory Building B

The second Accessory Building on the property is a small shed which appears to have housed chickens. It is a milled, wood frame building with a raised wood floor, painted horizontal wood siding and asphalt shingles. Given the manufacture and condition of the wood framing, it appears the shed was built in the 1960's.



4.4.4.A – Existing Accessory Building B – South Elevation



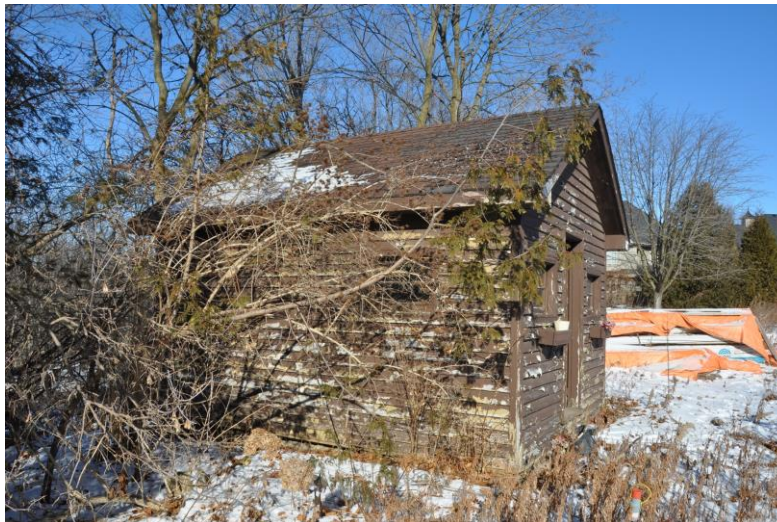
4.4.4.B – Existing Accessory Building B – North Elevation

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4.4.4.C – Existing Accessory Building B – North Elevation



4.4.4.D – Existing Accessory Building B – West Elevation



4.4.3.E – Existing Accessory Building B – Detail/Interior

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4.5 Neighbourhood Character

This area of Brooklin is in the periphery of the original part of the old town. Given its natural features around the meandering Lynde Creek, it grew with an estate lot character beginning in the 1950's. The property is disconnected from the centre part of Town.



4.5.A – Way Street - south



4.5.B – Way Street



4.5.C – Way Street

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4.6 Current Applicable Designations:

4.6.1 The Legislation and Authorities Having Jurisdiction below may override heritage concerns and recommendations included this Cultural Heritage Impact Assessment report. The parcel is currently designated as follows:

4.6.1.1 Region of Durham Official Plan

Regional Centres/ Major Open Space



4.6.1.2 Town of Whitby Official Plan:

Major Open Space



4.6.1.3 Town of Whitby Official Plan – Brooklin Secondary Plan; Natural Heritage System Hazard Lands



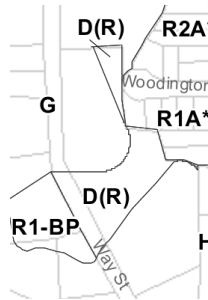
4.6.1.4 Town of Whitby Zoning By-Law 1784

DR – Development Residential

G – Greenbelt

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4.6.1.5 Town of Whitby Heritage Register:

25 Way Street: Designated under Part V – Conservation District

4.6.2 Applicable Policies and Guidelines

4.6.2.1 Ontario Provincial Policy Statement (PPS)

The Planning Act (1990) and the Provincial Policy Statement (PPS) [Ministry of Municipal Affairs and Housing (MMAH), 2020] issued under Section 3 of the Planning Act, provide Ontario-wide policy direction on land use planning. All decisions affecting land use planning “shall be consistent with” the PPS, which identifies that properties and features demonstrating significant architectural, cultural, historical, archaeological, technical or scientific interest are of provincial interest and should be conserved.

The importance of identifying, evaluating and conserving built heritage resources and cultural heritage landscapes is noted in two sections of the PPS 2020:

- Section 2.6.1 – “*Significant built heritage resources and significant heritage landscapes shall be conserved*”; and,
- Section 2.6.3 – “*Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*”

4.6.2.2 The Ontario Heritage Act r.s.o.1990 (OHA)

The OHA gives municipalities and the provincial government powers to preserve the heritage of Ontario, with a primary focus on protecting heritage properties and archaeological sites. The OHA grants authority to municipalities and the province to identify and designate properties of

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heritage significance, provide standards and guidelines for the preservation of heritage properties and enhance protection of heritage conservation districts, marine heritage sites and archaeological resources.

Properties can be designated individually (Part IV of the OHA) or as part of a larger group of properties, known as a Heritage Conservation District (Part V of the OHA). Designation offers protection for the properties under Sections 33 and 34 of the OHA, prohibiting the owner of a designated property from:

“altering, demolishing or removing a building or structure on the property unless the owner applies to the council of the municipality and receives written consent to proceed with the alteration, demolition or removal.”

4.6.2.3 Region of Durham Official Plan

The Durham Regional Official Plan (2024 - Office Consolidation) provides a series of policies for the conservation of cultural heritage resources. Section 2.3.49 of the document provides a policy for Built and Culture Heritage Resources, which states that *“the Regional Council shall encourage councils of the area municipalities to utilize the Ontario Heritage Act to conserve, protect, and enhance the built and cultural heritage resources of the municipality”*. The plan is clear to be consistent with the policies and direction provided through the PPS and encourages local municipalities to address cultural heritage resources in greater detail within their local official plans.

4.6.2.4 Town of Whitby Official Plan

The Town of Whitby Official Plan (2024) provides cultural heritage conservation policies in Chapter 6. The following policies provide guidance for development proposals that may impact cultural heritage resources:

6.1.1. Goal

6.1.1.1 To identify and conserve Whitby’s cultural heritage resources and archaeological resources for the benefit of existing and future generations, to enhance Whitby’s sense of community and identity, and to contribute to its sustainability and economic viability.

6.1.2 Objectives

6.1.2.1 To identify, conserve, and enhance cultural heritage resources in accordance with the Ontario Heritage Act and to ensure that such

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resources are protected through the development approval process in accordance with applicable legislation, plans, programs, and guidelines.

6.1.2.2 To conserve and enhance the character of Heritage Conservation Districts through the careful consideration of plans for change within and adjacent to the District.

6.1.2.4 To encourage the development of a municipal-wide culture of conservation by promoting cultural heritage initiatives as part of a comprehensive economic, environmental, and social strategy to recognize that cultural heritage resources contribute to achieving a sustainable, healthy, and prosperous community.

6.1.3 Cultural Heritage Resources

6.1.3.1 The Municipality shall protect and conserve cultural heritage resources in accordance with applicable legislation, policies, and recognized heritage protocols. In this regard, the Municipality:
d) may establish Heritage Conservation Districts under Part V of the Ontario Heritage Act and adopt Heritage Conservation District Plans for each district;
e) may establish policies and/or guidelines and tools to manage cultural heritage resources and recognize the importance of cultural heritage;
f) may enter into heritage easement agreements to conserve cultural heritage resources; and
g) shall promote local heritage and properties on the Heritage Register through educational programs, exhibits, displays, brochures, and local events.

6.1.3.2 The Municipality recognizes the cultural heritage attributes of its two downtowns and their surrounding residential areas and will establish and update Heritage Conservation Districts and related plans, where appropriate, to ensure the long-term conservation of the character of these unique areas.

6.1.3.3 Prior to making decisions on cultural heritage matters, Council shall consult with the Municipality's heritage committee, established pursuant to the Ontario Heritage Act, to advise and assist Council on such matters.

6.1.3.4 The Municipality, in consultation with the municipal heritage committee, shall encourage the designation and retention of cultural heritage resources on the original site and that such resources be integrated into new development and redevelopment,

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where appropriate, through the development approval process and other appropriate mechanisms. Retention of façades alone will generally be discouraged.

6.1.3.7 In reviewing proposals for the construction, demolition, relocation, or removal of buildings and structures, or for alterations, additions, renovation, or restoration of existing buildings or structures within a designated Heritage Conservation District, the Municipality shall be guided by the applicable Heritage Conservation District Plan guidelines and policies.

6.1.3.8 The Municipality may require a cultural heritage impact assessment that describes the cultural heritage resource and potential impacts of development and recommends strategies to mitigate negative impacts, where the alteration, development, or redevelopment of property is proposed on, or adjacent to cultural heritage resources that are designated under Part IV or Part V of the Ontario Heritage Act.

6.1.3.10 The Municipality may impose, as a condition of any development approvals, the implementation of appropriate conservation, restoration, or mitigation measures to ensure the conservation of any affected cultural heritage resources.

6.1.3.12 The Municipality may use financial incentives programs to assist in the maintenance and conservation of cultural heritage resources for owners and/or long-term lessees of designated cultural heritage resources in Heritage Conservation Districts or properties with registered heritage easements. Such programs shall include guidelines to determine eligibility for funding and to advise on appropriate conservation techniques.

6.1.3.14 The Municipality shall develop a set of criteria for identifying cultural heritage landscapes and trees of cultural heritage value.

6.2.3 Policies

6.2.3.1 Central Areas

6.2.3.1.1 Central Areas identified on Schedule “A” shall be the primary focal points of activity in the Municipality and support a broad range of land uses. As such, they shall exhibit a high order of urban design with an emphasis on the pedestrian environment and treatment of public spaces.

6.2.3.1.2 The layout and design of Central Areas shall have regard to the relevant policies of Section 6.2.3.5 to 6.2.3.11 with respect to such

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matters as streetscapes, gateways, landmark buildings, urban amenities, public spaces, and cultural heritage as appropriate.

6.2.3.1.3 The design of buildings and sites in Central Areas shall give consideration to the compatible integration and transition of uses with regard for built form, site circulation, connectivity, landscaping, parking, site amenities, accessibility, safety, sustainability, public art, signage, and lighting, as set out in the relevant policies of Section 6.2.3.12 to 6.2.3.22.

6.2.3.1.4 In particular, applications for development and redevelopment within Central Areas should address:

- a) compact urban form;*
- b) buildings which provide a high standard of design, particularly for the street-facing façade(s);*
- c) shared access wherever possible;*
- d) integrated internal vehicular and pedestrian circulation systems and parking areas;*
- e) off-street surface parking, where permitted, and service areas located in the rear or interior side yard of buildings and screened from the street;*
- f) urban squares or outside gathering areas, where appropriate; and*
- g) conservation of cultural heritage resources, where appropriate, particularly in Downtown Whitby and the Brooklin Heritage Conservation District.*

Section 11 of the Town of Whitby Official Plan outlines the area-specific policies for the Downtown Brooklin Major Central Area North. The policies relevant to the subject property are outlined below:

11.0 DOWNTOWN BROOKLIN MAJOR CENTRAL AREA NORTH

11.5.4.3 The historic downtown shall remain the commercial heart of the community accommodating restaurants and small-scale shops, offices and personal services and limited infill residential development.

1.5.4.4 The Brooklin Heritage Conservation District (HCD) overlays much of the historic Downtown component of the Downtown Brooklin Major Central Area. The built form and design policies within the HCD Plan shall be used to evaluate development applications within the HCD along with the Brooklin Urban Design and Sustainable Development Guidelines.

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11.5.4.7 Behind the buildings along Baldwin Street, low rise mixed-use infill development is permitted and encouraged in accordance with the policy directives of the HCD Plan and the Brooklin Urban Design and Sustainable Development Guidelines.

11.5.4.8 Within the historic Downtown, existing low density residential housing forms along Princess Street and Durham Street shall be conserved in accordance with the directives of the HCD Plan.

4.6.2.5 Brooklin Heritage Conservation District Plan

The Brooklin HCD Plan provides guidance on new commercial and residential construction within the boundaries of the HCD. The goal of the Plan is to reinforce the village character through the restoration of existing historic buildings, the regularization of the building setbacks, the improvement of the pedestrian environment, alongside the development of new, compact, sensitive infill buildings.

The Brooklin HCD plan states the new buildings should complement the HCD's older building's orientation, setback, height, massing, bay width, roof line, vertical alignments, projections, landscape, and roof profile and materials. A heritage permit is required for new construction within the Brooklin HCD.

New construction should follow the guidelines provided in Section 6.0 – New Construction (Commercial and Residential), Section 8.0 - Streetscape Guidelines (Commercial and Residential), and Section 9.0 - Guidelines for Landscape of the Brooklin HCD Plan

3.3 Conservation and Development Goals, Objectives and Policies

3.3.1 Overall Goal

- *to conserve and enhance the District's heritage character while encouraging compatible new development.*

3.3.2 Objectives

New Development

- *to encourage 'heritage friendly development' that is compatible with the arrangement, scale, architectural styles and materials that constitute the District's heritage character*
- *to provide a mix of land uses that will support and strengthen the existing commercial, residential and community service uses in the downtown core.*
- *to fully plan for the adaptive re-use of existing and the redevelopment of lands within the District, prepare an urban design plan for the District, with terms of reference that ensure*

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harmonization of the urban design plan with the policies and guidelines of the Heritage Conservation District Plan.

3.4.3 New Buildings

New development will be an important addition to Brooklin's heritage character because of the number of vacant or under used properties in the District. As a result, new development should complement and enhance District character.

- *new development should be limited to existing vacant sites or to sites currently occupied by non-heritage, unsympathetic buildings.*
- *overall development of such lands should be guided by an urban design plan for downtown Brooklin.*

The urban design plan shall follow the policies and guidelines of the Heritage Conservation District Plan.

- *all new development in the District should follow the Guidelines in Section 6 of the Heritage Conservation District Plan.*

3.5.2 Trees and Vegetation

- *existing mature trees should be maintained and preserved wherever possible. An assessment of tree condition within the District shall be conducted by a certified arborist to determine tree vitality. Any decisions regarding removal of mature trees for reasons of disease, damage or affect on public safety must be made in consultation with a certified arborist.*

6.3 Guidelines for New Construction

When relating new construction to these types of adjacencies, the basic defining characteristics, rather than the detail of the buildings, should be adopted in order to achieve compatibility within the streetscape. The atypical building types (churches, institutions, mill) should not be used as models to establish similarity of height, massing or size, as these landmarks are meant to stand alone in the community. Building on these defining characteristics of the architectural context, the HCD Guidelines for New Construction are as follows:

1. General: Preserve sites of cultural heritage significance, including their buildings, and landscapes identified as Good to Excellent within the HCD. Preserve setback and architectural character. The most prominent historic buildings and distinguished landscapes in Brooklin should be enhanced.

4. Other Streets and Neighborhoods:

Preserve streets/neighbourhoods that exist today, reflecting a diverse, but consistent pattern of development from the 1850s to the 1960s. The architecture of these buildings represents significant periods in the development of Brooklin. Although small in scale, or undistinguished

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in architectural representation, these building contrast with the recent development of large suburban style houses on smaller lots; these streets/neighbourhoods and house forms reinforce the character of the distinct village prior to 1990, and are appropriate to the scale of the core and the sensitive landscape of the Lynde Creek.

5. Views and Vistas: Preserve views and vistas and enhance pedestrian access to Lynde Creek, its flood plain and surrounding. Reinforce these connections and encourage the development of public trails that will aid in the appreciation of the natural and built environment within the Heritage District.

7. Traffic: Design buildings that harmonize and exhibit compatible scale, massing, setback, material, roof line, vertical alignments, exterior lighting, signage and landscape.

9. Overall Amenities: Remove, in the long term, structures and uses that are inappropriate to the established characteristics of significance of the District to free them up as new building sites.

11. Open Space and Development: Create new buildings that preserve, protect, and enhance open spaces and public parks, especially Grass Park and Kinsmen Park.

12. Views and Vistas: Preserve views and vistas of significant natural and built features.

13. Orientation: Orientation of new buildings should match the dominant orientation of the street on which they are to be sited.

14. Setbacks - Front and Side: Front and side yard setbacks for new buildings must follow municipal and Provincial requirements, however, the overall goal of the Guidelines is to regularize front setbacks to match or bridge those of adjacent structures, and to match side yard setbacks of adjacent structures.

15. Setbacks - Rear: Rear yard setbacks, back yards and placement of structures in rear yards should match the dominant pattern of the neighbourhood.

16. Height and Massing: Height and massing of new buildings (except for new buildings to be sited next to institutional landmarks such as churches and mills) should conform to municipal and provincial requirements, but should be no greater in height, or different in mass, than the dominant form of building on the block in which it is situate. In the case of direct relation of a new commercial building to its immediate

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neighbours, vertical articulation of roofs, eaves and windows should be related one to the other.

17. Style: New buildings should be built as of, and from, the best practices and design of their own era. It is unwise for a designer to adopt a style, but ignore form, scale, material and building technique. There is no requirement of stylistic emulation as a precept of new construction. More important by far is a similarity of a new building to complement the neighbouring older building's orientation, setback, height, massing, bay width, roof line, vertical alignments, projections, landscape, and roof profile and materials.

18. Compatibility of Facade Design: The design of the commercial or residential façade will be of great significance to the overall project. Use designs that are compatible in:

- design and layout;*
- proportion of void (window) to solid (wall);*
- location of windows and doors;*
- bay width;*
- material;*
- colour; and*
- detail.*

The use of a registered architect or designer with proven sympathies to the Brooklin context, and a knowledge of building within HCDs, is the best method of ensuring that design goals are met.

20. Entries: The position of entries to the new building in relation to the composition of the façade should be similar to that of the adjacent buildings, or the predominant tendency of the block. Recessed entries, projecting entries, columned entries should be reviewed in light of overall block characteristics.

21. Roofs: The roof form of the new building must suit its massing, style and scale. In residential neighbourhoods, the gable facing the street, the gable parallel to the street, the gambrel, the centre gable, the hip and the Regency bell cast roof may be adjacent forms to carry into the new construction; analysis of the commercial building roof types in the Baldwin Street core should minimize height in all buildings over 2 storeys. Certain roof forms are out of character with the streetscapes of Brooklin, including, pyramidal roofs, overly massive roofs, domed and arched roofs. Flat roofs and low pitched roofs should be reviewed for compatibility with their surrounding building forms. Rooftop mechanical units should not be permitted. Roof top patios are not appropriate within the District.

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23. Material and Colour: Similarity of material and colour used in elements of the building exterior will be important to the coherence of the streetscape. The use of historic colours in new buildings is not required, however, locating next to structures that have utilized a particular palette of materials and colours may prompt a building designer to utilize similar and compatible materials and colours.

24. Windows and Doors: The size and placement of windows and doors in new construction may emulate the adjacent buildings or the typical streetscape patterns as a way of establishing visual coherence between old and new elements. Authenticity of mullions in the design of casement and sash windows should be maintained; fixed windows with sliders are not typical of any of the existing patterns of construction, nor are sliding windows, diagonal muntin bars or fixed pane windows in the front facades of buildings designed to appear similar to their historic neighbouring buildings. Window surrounds, sills and heads are important masonry or wood elements on the façade exterior that contribute to the overall appearance, detail and scale of the exterior façade.

25. Dormers: The use of dormers in appropriate settings may be a way of incorporating additional height into a new building without overpowering the buildings' neighbours; if adjacent buildings use dormers in their design, the use of dormers at the same roof elevation is a good bridge between the old and new forms.

26. Utility and Service Equipment: Utility, telecommunications, and service equipment should not be visible from the street frontage.

27. Other Structures: Other structures on the property of the new construction should be placed in a manner that is similar to the pattern established by the adjacent properties, or within the block. Garages and service buildings.

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5.1 Project History

5.1.A - Original Site Plan

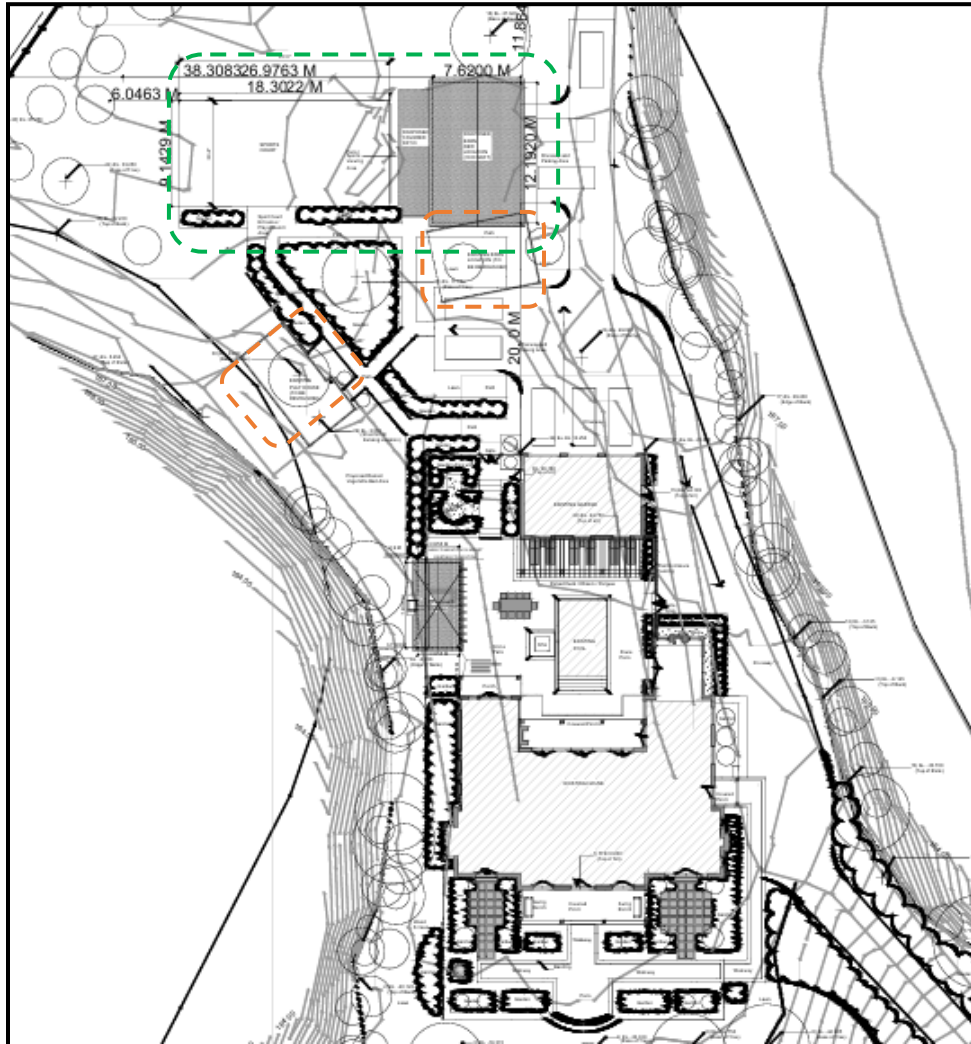
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5.2 Project Revisions

As work progressed, the design program changed and the owner wishes to demolish Accessory Building A and Accessory Building B in order to build a new Accessory Building with an indoor activities' space and support spaces, to be located beside an outdoor sports' activity court.

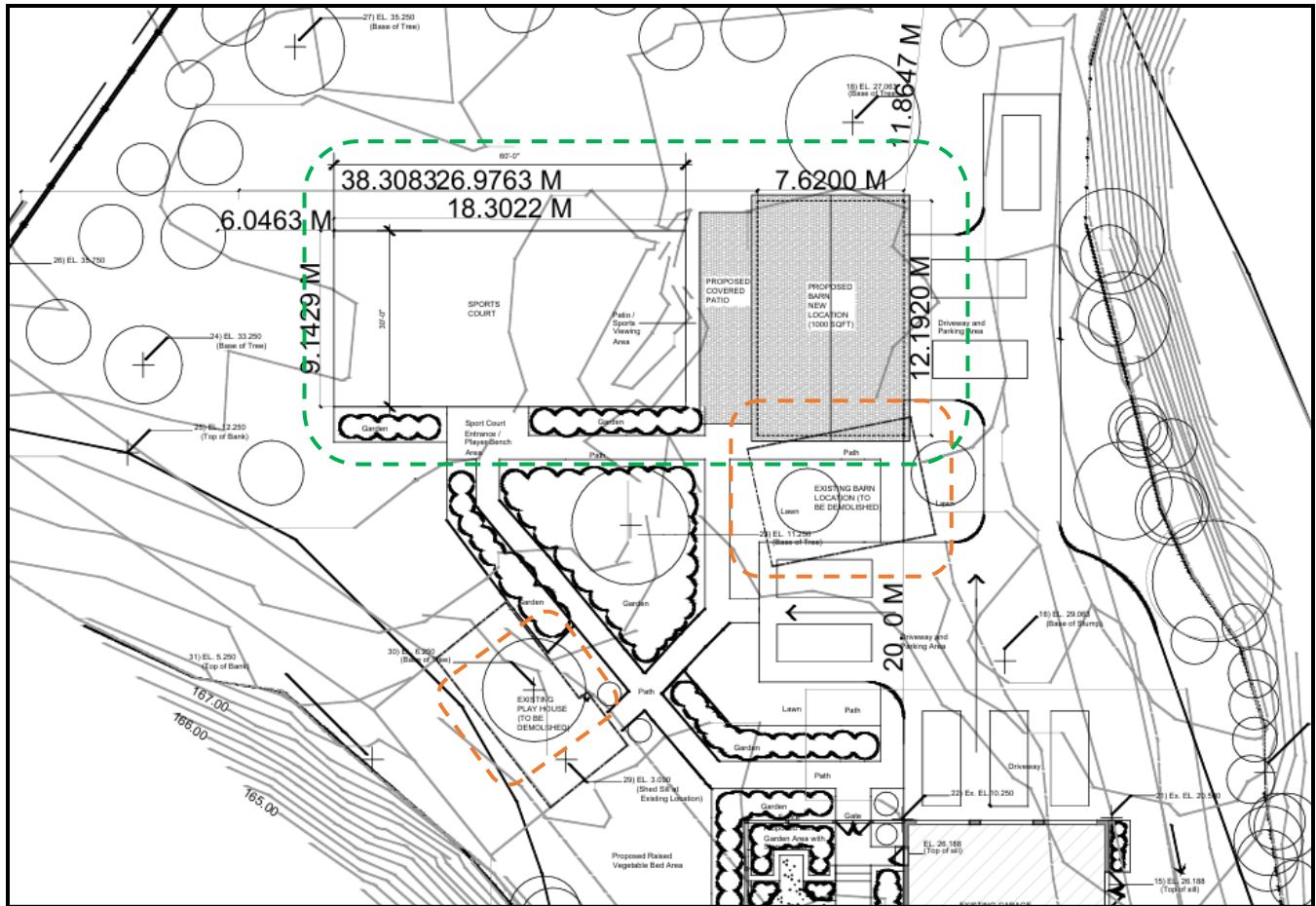
The proposed new accessory Building is a one storey shed with the overall dimensions of 7.20m x 10.97m (25' x 36') with a principal space and kitchenette and washroom. The building is oriented to face a proposed sports court to serve as a place to observe outdoor activities and allow for indoor activities. The building is to be of wood frame construction clad in cedar shingles and with a cedar shingle roof. Large sliding glass doors will permit the opening of the building to the weather, and large sliding barn doors will cover the glass doors for protection when not in use. A trellis will provide an outdoor shaded area.



5.2.A – Revised Site Plan

Cultural Heritage Impact Assessment – Conformity to HCD Plan

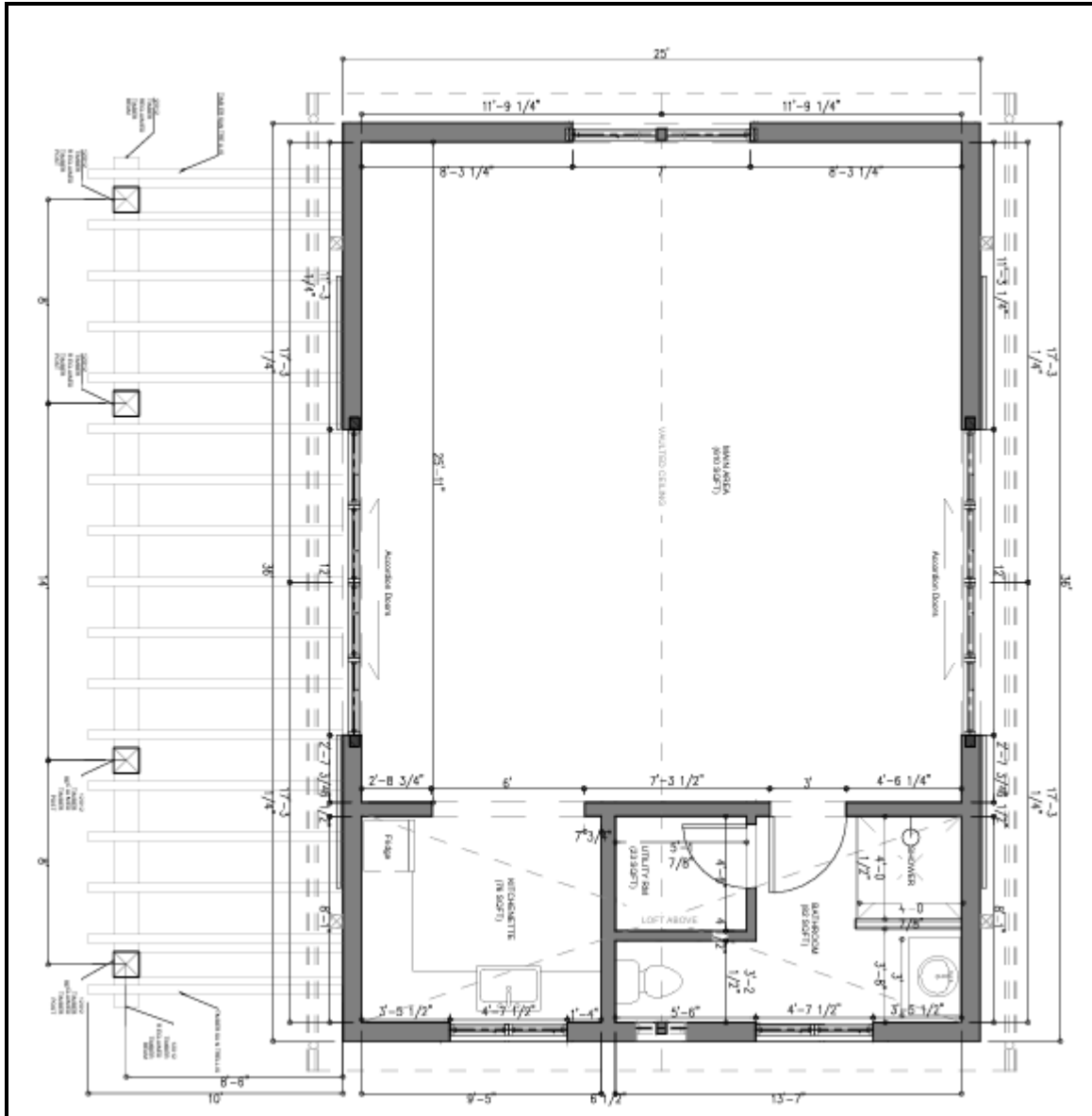
25 Way Street, Whitby (Brooklin), Ontario



5.2.A – Revised Site Plan – Enlarged

Cultural Heritage Impact Assessment – Conformity to HCD Plan

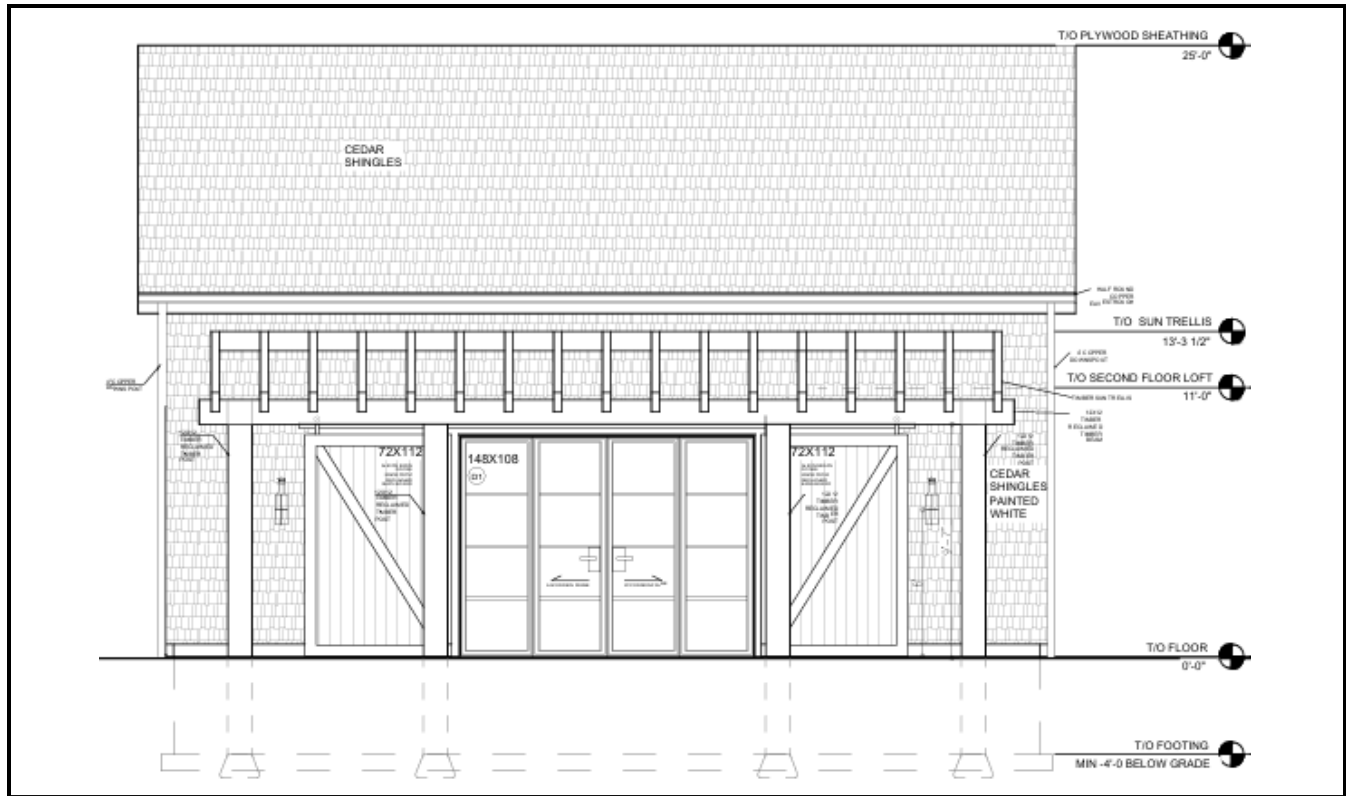
25 Way Street, Whitby (Brooklin), Ontario



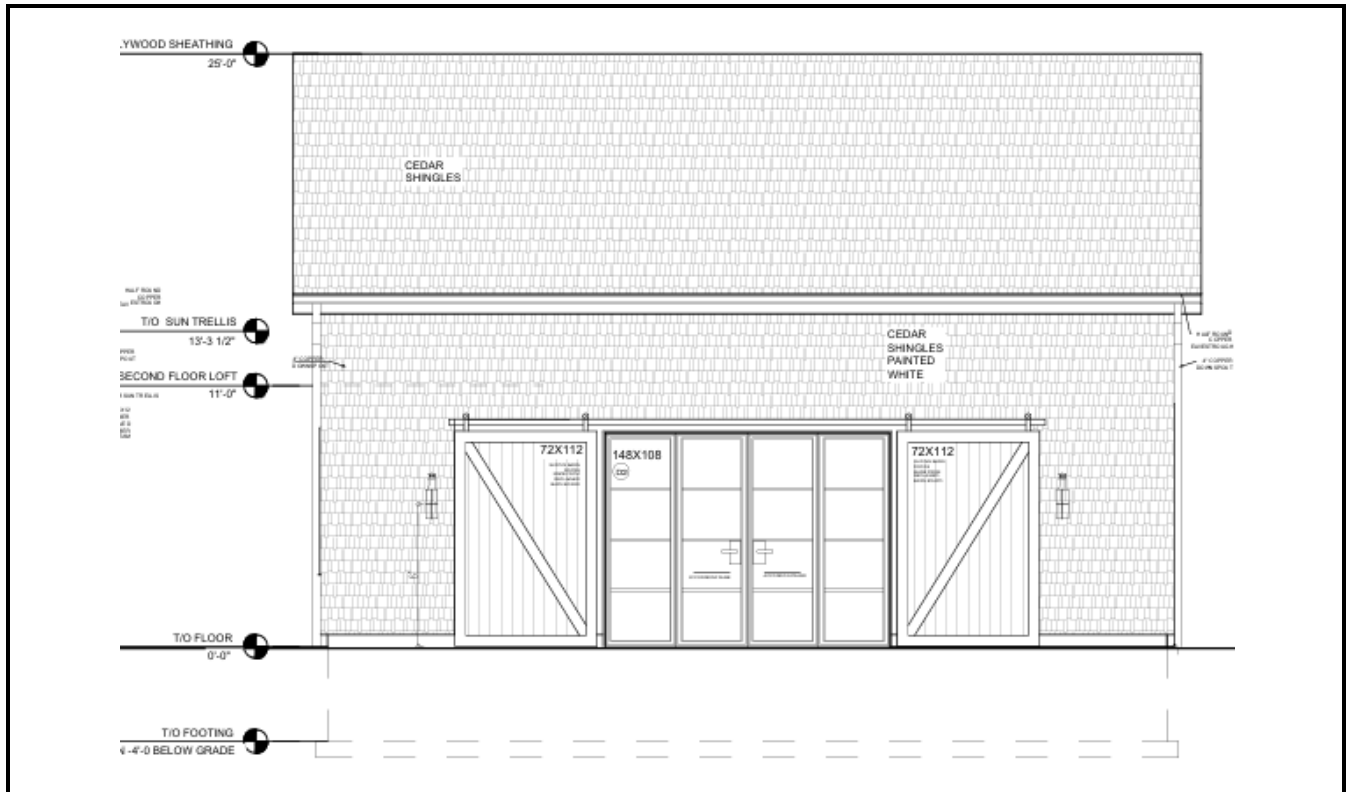
5.2.B – Proposed Ground Floor

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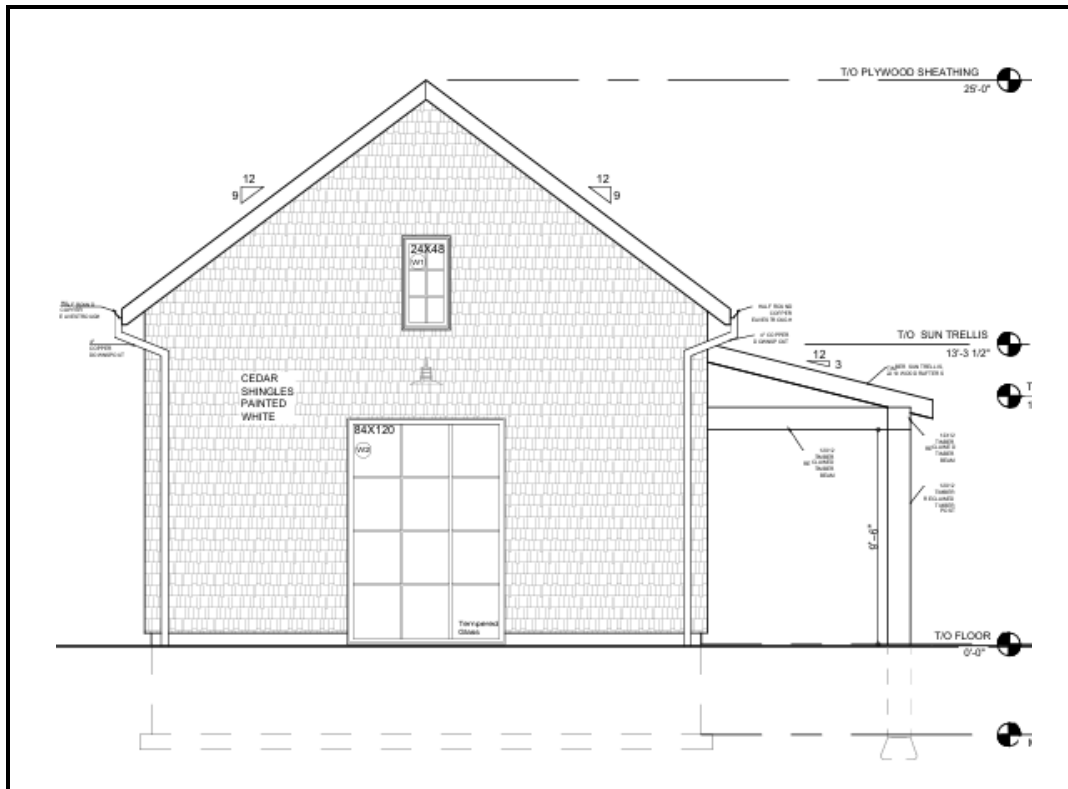
5.2.C – Proposed North Elevation



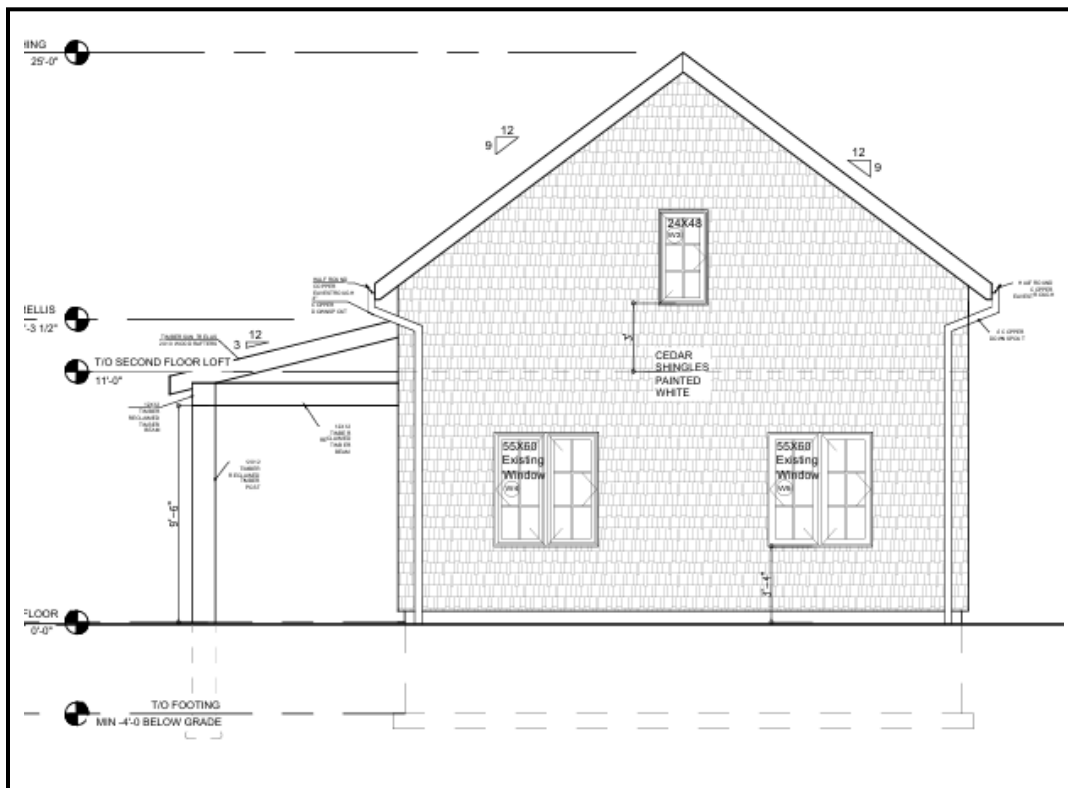
5.2.D – Proposed South Elevation

Cultural Heritage Impact Assessment – Conformity to HCD Plan

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5.2.E - Proposed East Elevation



5.2.F - Proposed West Elevation

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6.0 Heritage Impact Assessment

As the work to the home and new garage has been approved, the comments herein will pertain to the demolition of the 2 accessory buildings and construction of the new one.

6.1 Heritage Assessment – Accessory Buildings

6.1.1. Accessory Building A

Building A was constructed with material and methods consistent with those of the mid-20th century. The built form is not a good example of a gambrel design as the upper roof slopes are low in comparison to the basic stylistic model. The craftsmanship is typical for the era. It is a utilitarian structure.

The building has no Heritage value. It is in the twilight of its serviceable life. It can be demolished.

6.2.1 Accessory Building B

Building B was constructed with material and methods consistent with those of the mid-20th century. The built form is typical example of a shed design. The craftsmanship is typical for the era. It is a utilitarian structure.

Given its proximity to the top of the bank of a steep drop, and the rudimentary foundation construction, the building will be in danger of collapsing over the bank.

The building has no Heritage value. It is in the twilight of its serviceable life. It can be demolished

6.2 Compliance with the Brooklin Heritage Conservation District Plan:

The Brooklin Heritage Conservation District Plan lists the property as having Good Heritage value. As such BHCD Plan Guidelines for new Construction (Section 6.0), Streetscape (Section 8.0) apply to the proposal. The review and application of the HCD Guidelines with respect to New Construction yields the following compliance with the Plan.

Cultural Heritage Impact Assessment – Conformity to HCD Plan

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6.1.1 Section 6.3 - New Construction (Commercial and Residential):

| 6.3 | Guideline | Implementation |
|-----|--|--|
| 1 | General: Preserve sites of cultural heritage significance, including their buildings, and landscapes identified as Good to Excellent within the HCD. Preserve setback and architectural character. The most prominent historic buildings and distinguished landscapes in Brooklin should be enhanced. | N/A - the lot is vacant without neighbouring structures. (The design complements the existing historical context in its use of Second Empire style with neoclassical elements.) |
| 2 | Baldwin: Preserve Baldwin Street in its primarily low-rise commercial (mixed use) main street role, retaining buildings of historic significance and reinforcing pedestrian use. | N/A |
| 3 | Cassels: Preserve the role of the major crossing streets (Cassels) to reflect the significant development of residential, institutional (e.g. Churches and Lodges) and business (e.g. Mill) uses. Preserve the significant architecture of the streets, including their setbacks and the relations between clusters of significant structures and views and vistas. Preserve and enhance man-made landscapes and enhance natural landscapes, especially at the crossing of Lynde Creek. Preserve other structures that contribute to the streetscapes, including bridges and outbuildings of significance. | N/A |

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| 4 | Other Streets and Neighborhoods: Preserve streets/neighbourhoods that exist today, reflecting a diverse, but consistent pattern of development from the 1850s to the 1960s. The architecture of these buildings represents significant periods in the development of Brooklin. Although small in scale, or undistinguished in architectural representation, these building contrast with the recent development of large suburban style houses on smaller lots; these streets/neighbourhoods and house forms reinforce the character of the distinct village prior to 1990, and are appropriate to the scale of the core and the sensitive landscape of the Lynde Creek. | The proposed building is well away from the public realm and has no impact on the character of the neighbourhood. |
| 5 | Views and Vistas: Preserve views and vistas and enhance pedestrian access to Lynde Creek, its flood plain and surrounding. Reinforce these connections and encourage the development of public trails that will aid in the appreciation of the natural and built environment within the Heritage District | The proposed construction has no impact on any public views to Lynde Creek from the street. |
| 6 | Focal Points: Design new buildings that encourage pedestrian amenities such as wider sidewalks, lack of obstruction to barrier free entry, shelter at building entries. | N/A |

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| 7 | Traffic: Design buildings that harmonize and exhibit compatible scale, massing, setback, material, roof line, vertical alignments, exterior lighting, signage and landscape. | The scale of the building is appropriate internal to the site. There is no visual impact on the streetscape |
| 8 | Vehicular and Pedestrian Routes: In commercial areas, encourage the development of mid-block entrances to pedestrian mews and pathways | N/A |
| 9 | Overall Amenities: Remove, in the long term, structures and uses that are inappropriate to the established characteristics of significance of the District to free them up as new building sites. | N/A |
| 10 | Parking: Reinforce Baldwin Street by allowing compact redevelopment on lots between the identified heritage buildings. | N/A |
| 11 | Open Space and Development: Create new buildings that preserve, protect, and enhance open spaces and public parks, especially Grass Park and Kinsmen Park. | The reduction of net building area keeps the property more open. |
| 12 | Views and Vistas: Preserve views and vistas of significant natural and built features. | N/A |
| 13 | Orientation: Orientation of new buildings should match the dominant orientation of the street on which they are to be sited. | N/A. (Internal to the site, the building orients itself for viewing of activities on the sports' court.) |
| 14 | Setbacks - Front and Side: Front and side yard setbacks for new buildings must follow municipal and Provincial requirements, however, the overall goal of the Guidelines is to regularize front setbacks to match or bridge those of adjacent structures, and to match side yard setbacks of | Complies. The building is well setback from the property lines, and the valley lands of Lynde Creek. |

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| | adjacent structures. | |
| | | |
| 15 | Setbacks - Rear: Rear yard setbacks, back yards and placement of structures in rear yards should match the dominant pattern of the neighbourhood. | Complies. The setback that is adjacent to Lynde Creek generous. |
| | | |
| 16 | Height and Massing: Height and massing of new buildings (except for new buildings to be sited next to institutional landmarks such as churches and mills) should conform to municipal and provincial requirements, but should be no greater in height, or different in mass, than the dominant form of building on the block in which it is situate. In the case of direct relation of a new commercial building to its immediate neighbours, vertical articulation of roofs, eaves and windows should be related one to the other. | The massing remains in scale with the buildings on the site - existing and previous. |
| | | |
| 17 | Style: New buildings should be built as of, and from, the best practices and design of their own era. It is unwise for a designer to adopt a style, but ignore form, scale, material and building technique. There is no requirement of stylistic emulation as a precept of new construction. More important by far is a similarity of a new building to complement the neighbouring older building's orientation, setback, height, massing, bay width, roof line, vertical alignments, projections, landscape, and roof profile and materials. | As an accessory building, it proposes a form in keeping with the other buildings on the property and clad in a natural material. |

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| | If the surrounding building style is simple, new adjacent construction should be fairly simple; if the adjacent buildings or block have a definitive picturesque quality, more definitive relationship to the landscape, to variation in mass and in roof profile may be suggested by the context. If a neighbouring commercial building is plain, the proportions, height, glazing and massing of the new building should follow these adjacent patterns. | |
| 18 | Compatibility of Facade Design: The design of the commercial or residential façade will be of great significance to the overall project. Use designs that are compatible in: • design and layout; • proportion of void (window) to solid (wall); • location of windows and doors; • bay width; • material; • colour; and • detail. | The proposed accessory building's design is in keeping with the design language of the main home. |
| 19 | Alignments: Alignments present on the front facades of neighbouring buildings should be reflected in the new adjacent construction to contribute to the cohesive nature of the block. For example, porches and window heads could be aligned, eaves and gutters could be aligned. | N/A. The building is not seen from the public realm. |
| 20 | Entries: The position of entries to the new building in relation to the composition of the façade should be similar to that of the adjacent buildings, or the predominant tendency of the block. Recessed entries, projecting entries, columned entries should be reviewed in light of overall block characteristics. | N/A. The building is not seen from the public realm. |

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| 21 | <p>Roofs:</p> <p>The roof form of the new building must suit its massing, style and scale. In residential neighbourhoods, the gable facing the street, the gable parallel to the street, the gambrel, the centre gable, the hip and the Regency bell cast roof may be adjacent forms to carry into the new construction; analysis of the commercial building roof types in the Baldwin Street core should minimize height in all buildings over 2 storeys. Certain roof forms are out of character with the streetscapes of Brooklin, including, pyramidal roofs, overly massive roofs, domed and arched roofs. Flat roofs and low pitched roofs should be reviewed for compatibility with their surrounding building forms. Rooftop mechanical units should not be permitted. Roof top patios are not appropriate within the District.</p> | The roof shape is in keeping with the existing Architectural vocabulary. |
| 22 | <p>Projections:</p> <p>Bays, porches and projections are used extensively in the neighbourhood residential architecture; setbacks of these elements and the scale of such elements should be in keeping with the patterns established by buildings neighbouring the new construction. Typical porches and verandahs are delicate in scale, and one storey in height; they are constructed of wood, or in early twentieth century houses of wood and masonry. Overly heavy, and overly high porches and metal awnings are not appropriate for the district. Flat roofed porches and carports may be appropriate in areas characterized by Ranch style or Contempo buildings, but inappropriate for consistently Victorian neighborhoods</p> | N/A. |
| 23 | <p>Material and Colour:</p> <p>Similarity of material and colour used in elements of the building exterior will be important to the coherence of the streetscape. The use of historic colours in new buildings is not required, however, locating next to structures that have a utilized a particular palette of materials and colours may prompt a building designer to utilize similar and compatible materials and colours.</p> | N/A/. The building is not visible from the public realm but uses natural cladding materials to blend with the nature of the site. |

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| 24 | Dormers: The use of dormers in appropriate settings may be a way of incorporating additional height into a new building without overpowering the buildings' neighbours; if adjacent buildings use dormers in their design, the use of dormers at the same roof elevation is a good bridge between the old and new forms. | N/A. |
| | | |
| 25 | Windows and Doors: The size and placement of windows and doors in new construction may emulate the adjacent buildings or the typical streetscape patterns as a way of establishing visual coherence between old and new elements. Authenticity of mullions in the design of casement and sash windows should be maintained; fixed windows with sliders are not typical of any of the existing patterns of construction, nor are sliding windows, diagonal muntin bars or fixed pane windows in the front facades of buildings designed to appear similar to their historic neighbouring buildings. Window surrounds, sills and heads are important masonry or wood elements on the façade exterior that contribute to the overall appearance, detail and scale of the exterior façade. | N/A. The building will not be visible from the public realm. Windows and doors are in keeping with the main building's Architectural vocabulary. |
| | | |
| 26 | Utility and Service Equipment: Utility, telecommunications, and service equipment should not be visible from the street frontage. | Complies. |
| | | |
| 27 | Other Structures: Other structures on the property of the new construction should be placed in a manner that is similar to the pattern established by the adjacent properties, or within the block. Garages and service buildings | Complies. |

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7.0 Summary Statements

7.1 Conformity to Brooklin Heritage Conservation District Plan

Based on the assessment of the revised site plan using the Brooklin Heritage Conservation District Plan and its guidelines, the project:

- permits the demolition of the two existing accessory buildings A & B, as they have no Heritage value and near the end of their serviceable life;
- permits the construction of a new Accessory Building whose design is in keeping with the existing building;
- is in conformance with the Brooklin Heritage Conservation District plan, and
- will have no negative impact on the Heritage character of the Brooklin Heritage Conservation District.

8.0 Mandatory Recommendations:

8.1 Mandatory Recommendations regarding Conformity of the Revised Project Design at 25 Way Street to the Brooklin Heritage Conservation District Plan:

It is the recommendation of this report that the revised design proposal at 25 Way Street:

- 1) permits the demolition of Accessory Buildings A & B;**
- 2) allows the construction of a new Accessory Building;**
- 3) implements design guidelines contained in the Brooklin Heritage Conservation District Plan;**
- 4) is in conformance with the Brooklin Heritage Conservation District Plan,**
- 5) will have no negative impact on the Heritage character of the Brooklin Heritage Conservation District, and**
- 6) that the Whitby Heritage Advisory Committee recommends to Council the demolition of the 2 out buildings and construction of a new out building be supported.**

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9.0 Authorship

Report Prepared By:

Vincent J. Santamaura, Architect Inc.

Date:



12 February 2025

Vincent J. Santamaura, B.Arch., OAA, MRAIC, CAHP, CaGBC
Architect

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Appendix 1: Methodology

The methodology used to research, analyze and assess the heritage value and interest of the subject property was as follows:

- i) Review of Terms of Reference of Cultural Heritage Impact Assessments prepared by the Municipality;
- ii) Consult with Municipal staff;
- iii) Review of Provincial Legislation and Policy Statements affecting Municipal Growth and Heritage;
- iv) Review of Regional and Municipal Official Plans with respect to Heritage;
- v) Review Brooklin Heritage Conservation District Plan
- vi) Engage in an on-site visit to document and assess the area character
- vii) Review and assess revised Design proposal;
- viii) Prepare report.

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Appendix 2: Biography of Author:

SELECTED PROFESSIONAL RESUME

Vincent J. Santamaura, B. Arch, MOAA, MRAIC

Overview:

Vincent has evolved his close to 30 years of experience in the Construction Industry from Vincent J. Santamaura, Architect into a founding partner of *SRN Architects Inc.* A creative designer, familiar with a variety of Building systems, and the Building and Approvals process, he applies his knowledge to solving the building needs of his clients.

Trained and registered as an Architect, Vincent graduated from the University of Toronto. He has been active in the Greater Toronto Area – from downtown infill housing to new communities to historic renovations, adaptive re-use to high-rise. Vincent has worked for award winning architectural firms and has run his own practice. He has worked for a large land developer/home builder as Staff Architect and Community Planner where he was responsible for designing new communities, lotting modules and commercial and residential unit forms. Fully versed in the grand picture, Vincent applies his knowledge and experience back into the urban and architectural design fields.

Familiar with a variety of building systems, Vincent is comfortable designing in steel frame, cast-in place concrete or wood or light gauge steel framing. His design solutions balance urban concerns, client needs, and budget demands. Sustainability has always been an interest of Vincent's since his university days having been involved in passive energy design since the first oil crisis, and this has led to an interest in building envelope systems and an exploration of the new techniques. Fundamentally, though, it is the satisfaction of the client's needs that drives the building design solution and the delivery of it on time and on budget.

Vincent derives a large amount of his design inspiration from our Ontario Heritage. He's been the Chair of the Uxbridge LACAC, and has been active in the preservation efforts of the Foster Memorial and the Lucy Maud Montgomery House, both in Leaskdale. He designed the York/Durham Heritage Railway/Go Train Station in Stouffville, and renovations to the Goodwood Town Hall (1875) and the Uxbridge Music Hall (1901). With these works, Vincent has developed strong interpersonal skills interacting with various communities, committees and municipal governments. This sensitivity to the existing built (and social) environment ensures that any design intervention will respect its neighbours.

Keenly aware of the complex issues and interests in building communities, Vincent uses his design skills, his consensus building skills and his experience to arrive at a balanced solution to any design challenge.

EDUCATION:

2001 to present - OAA Professional Development Continuing Education Course Certificates
1986 to 1989 - AutoCAD Certificate courses, Ontario CADD/CAM Centre, Cambridge, Ontario
1985 - Construction Specifications Course, CSC, Toronto
1983- Bachelor of Architecture, University of Toronto

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Professional Memberships:

- 2012 to 2017 - Member, Alberta Association of Architects
- 2010 to present - Member, Canadian Association of Heritage Professionals - Building Specialist
- 2006 to present - Member, Canada Green Building Council
- 1983 to present - Member, Royal Architectural Institute of Canada
- 1981 to present - Member, Ontario Association of Architects, Registered 1988

Community Memberships:

- 2023 to present - Member, Heritage Whitby/LACAC, Town of Whitby
- 2015 to 2018 - involved in Local Architectural Conservation Advisory Committee to the Town of
- 2009 to 2012 Whitby
- 1993 to 1996 – Member/Chairman, Heritage Uxbridge/LACAC, Town of Uxbridge
- involved in Local Architectural Conservation Advisory Committee to the Town of Uxbridge
- 1993 to 2002 – Member, Friends of the Foster Memorial, Town of Uxbridge
- involved in the fund raising, preservation and designation efforts for the Foster Memorial in the Town of Uxbridge
- 1994 to 2002 – Member, York/Durham Heritage Railway Association, Stouffville
- involved the running of the heritage railway between Stouffville and Uxbridge
- 1995 to 1998 – Member, Celebration of the Arts Committee, Town of Uxbridge
- involved in organizing the annual Cultural Celebration in the Town of Uxbridge

Professional Activities and Selected Projects:

Expert Witness – Heritage Matters:

Expert Witness – Architecture/Site Planning/Urban Design: Ontario Municipal Board -
Recognized as an Expert in Architecture, Site Planning and Urban Design by the Ontario Municipal Board for Testimony during Heathwood Homes Appeal of the City of Toronto By-Law no. 2017-62.

Expert Witness - Heritage Matters: Ontario Municipal Board
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Testimony for Vitmont Holding Inc Appeal of the Town of Aurora Non-Decision on Site Plan for 15160 Yonge Street & No. 5 Tyler Street, Aurora

Expert Witness – Heritage Matters: Ontario Municipal Board

Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Testimony for Vitmont Holding Inc Appeal of the Town of Aurora Non-Decision on Site Plan for 15160 Yonge Street & No. 5 Tyler Street, Aurora

Expert Witness – Heritage Matters: Ontario Municipal Board -

Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Ballantry Homes Appeal of the Town of Markham By-Law no. 2006-78

Heritage Impact Statements/Reports:

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Heritage Impact Statement/Preservation Plan – 68 Daisy Street, City of Toronto (Etobicoke):
Heritage Architect who analyzed and authored a Heritage Impact Assessment and prepared a Preservation Plan for the Vincent Massey Public School on the impact of a new cluster of townhouses proposed around it in the City of Toronto.



Cultural Heritage Impact Review Assessment/ Preservation Plan - 8161 & 8177 Kipling Avenue, (The Thomas Wright House and the McGillivray-Shore House) City of Vaughan:

Architect/Heritage Architect who analyzed and authored a Cultural Heritage Impact Assessment/ Conservation Plan for the re-location and renovation of two Designated Homes and the impact of a proposed stacked townhouse project in the Woodbridge Heritage Conservation District, in the City of Vaughan.

2017 Vaughan Urban Design Award winner.

Heritage Impact Statement – 4583, 4589 & 4601 Mississauga Road, City of Mississauga:

Analyzed and authored a Heritage Impact Statement for the impact of a new cluster of homes on the Credit River Cultural Landscape (Heritage Registered Inventory) and the Mississauga Road

Scenic Route (Heritage Register Inventory) in the City of Mississauga.



Cultural Heritage Impact Review Assessment/Preservation Plan – The Thomas Watson House

8934 Huntington Road, City of Vaughan:

Architect/Heritage Architect who analyzed and authored a Cultural Heritage Impact Statement and Preservation plan for the renovation of a formerly Designated Home as part of the proposed Arlington Estate Banquet Hall re-development project in the City of Vaughan.

Heritage Impact Statement –10056 & 10068 Keele Street (Le Sedici Viletti) City of Vaughan:

Architect/Heritage Architect who analyzed and authored a Cultural Heritage Impact Assessment for and designed a proposed townhouse project in the Woodbridge Heritage Conservation District, in the City of Vaughan.

Heritage Impact Statement/Preservation Plan - Stiver Tenant House-9721 Kennedy Road, City of Markham

Analyzed and authored a Cultural Heritage Impact Statement for the preservation, re-location, renovation, and addition of a Designated Stiver Tenant Home project in the Town of Markham. (on-going)

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Restoration:



The Music Hall (1901), Uxbridge:

Architect for the renovation of the cultural centre of the thriving artistic life of Uxbridge since 1901. The facilities of the Historically Designated Music Hall were updated and the stage was restored.

The Horner House (Designated) 9940 Leslie St, Richmond Hill

Architect for the preparation of a conservation plan for this Designated Home moving as a result of development pressures.

Adaptive Re-Use:



11 Woodlawn Avenue, Toronto:

Project Architect for a conversion of a church building into condominium suites. The existing 4,000 sf building shell had another 8,000 sf of building area inserted into its envelope to create six luxury 2-storey units.

Mixed Use Projects:



Old Brooklin-The Mews, Brooklin:

Architect/Heritage Architect for the infill and extension of downtown Brooklin's Heritage District's main street with a mixed-use project using traditional living above retail programming and local heritage architectural styles.

Institutional:



Go Transit Stouffville and York Durham Heritage Railway Terminus, Stouffville:

Architect for the Heritage inspired Go Transit Station Stouffville which also acts as a terminus station for the York Durham Heritage Railway line between Stouffville and Uxbridge.

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Commercial:



10 Richmond Street, Maple:

Architect/Heritage Architect for a commercial infill building in Downtown Maple's Heritage District, approved by the City of Vaughan Heritage Committee, the Maple Streetscape Committee and City of Vaughan Council.

Architectural Control Guidelines:

Spring Creek, Waterdown:

Control Architect who created Architectural Control Guidelines which selected all components for the accurate re-creation of Georgian, Edwardian, Queen Anne, Arts & Crafts and Canadiana styles in this heritage inspired residential community.

Kleinburg Estates, Vaughan (Kleinburg):

Control Architect who created Architectural Control Guidelines which selected all components for the accurate re-creation of Georgian, Queen Anne, Second Empire and Victorian styles in this residential community in the Heritage Conservation District of Kleinburg.

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End of Report